

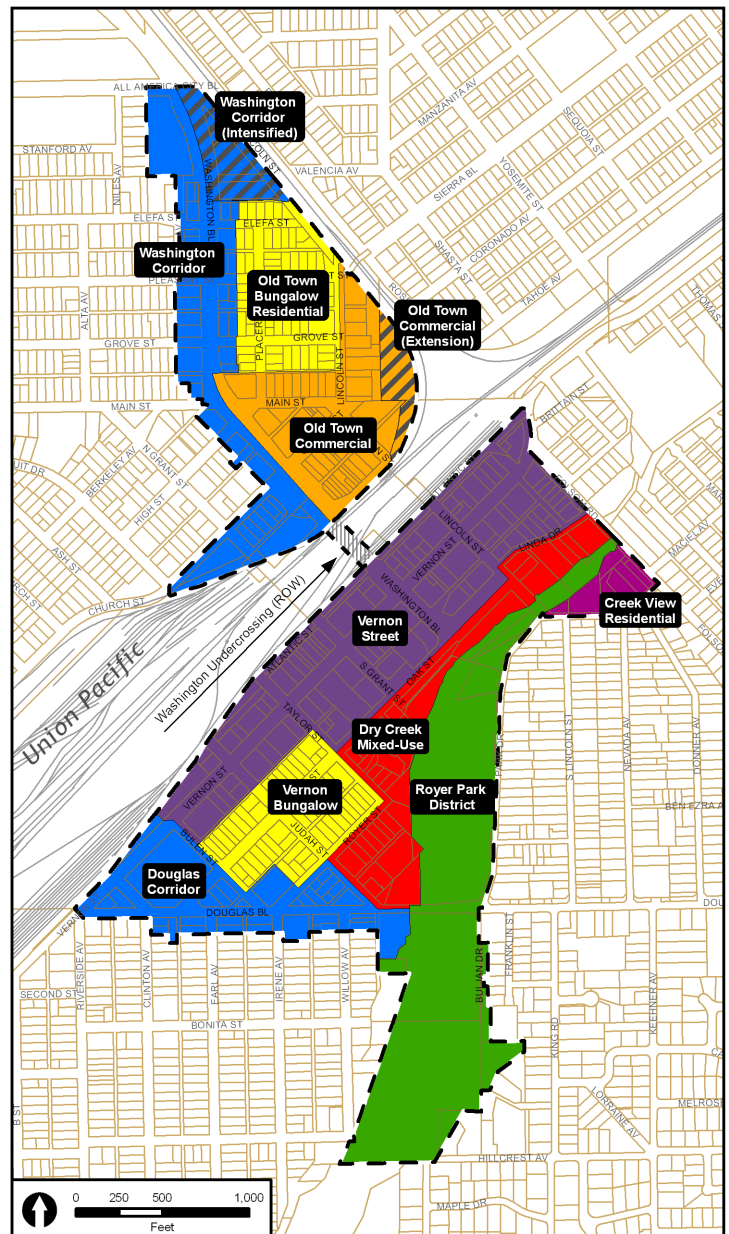
## 4.0 District Standards Quick Reference Guide

### DISTRICT QUICK-REFERENCE GUIDE

The purpose of the District Standards is to provide the user with a quick and easy reference for all zoning districts in Downtown Roseville with the exception of the Royer Park District. This synopsis does not contain every relevant regulation, permitted use, and design criterion. The District Summaries are simply snapshots of the regulatory environment for each district. New development, building expansion, and building additions in the Specific Plan area shall comply with the development standards of the applicable zoning sheets. The District Summaries contain the following summarized regulatory information:

- District boundaries;
- Building placement and site information (allowable setbacks, height, floor area ratio, and density information);
- Encouraged principally allowed uses (detailed allowed land uses are provided in Chapter 2);
- Potential development (consisting of potential commercial square footage and number of dwelling units);
- Parking requirements (detailed location and required number of spaces are provided in Chapter 3);
- District Specific Requirements;
- Allowable building types;
- Allowable building frontage types;
- Allowable signage types; and
- Streetscape concepts and standards.

A summary of the various prescriptive standards for each district has been provided in Table 4.1.



## 4.0 District Standards Quick Reference Guide

<b>Table 4.1</b>	<b>Washington Corridor DT-1</b>	<b>Washington Corridor (Intensified) DT-2</b>	<b>Old Town Bungalow Residential DT-3</b>	<b>Old Town Commercial DT-4</b>	<b>Old Town Commercial (Extension) DT-5</b>
<b>Build to line (1)</b>	0-15 ft	0-15 ft	15 ft with 20 ft drive/18 ft with roll-up door	0-10 ft	0-10 ft
<b>Front Setback Encroachment</b>	5 ft max for architectural features	5 ft max for architectural features	6 feet for steps and porches	6 feet for uncovered steps and porches	6 feet for uncovered steps and porches
<b>Side Setback</b>	0 ft	0 ft	5 feet (12.5 feet on corner lots)	0 ft	0 ft
<b>Rear Setback</b>	15 ft	15 ft	10 ft	0 ft	0 ft
<b>Minimum Lot Width</b>			Interior 45 ft Corner 55 ft		
<b>Maximum Height (2)</b>	3 story/45 ft	3 story/45 ft	2 story/35 ft	4 story/60 ft	4 story/60 ft
<b>Minimum FAR (2)</b>	.50	.50	.20	1.5	2.00
<b>Maximum FAR</b>	1.00	1.00	.40	3.00	4.00
<b>Minimum Density</b>	13 units/acre	13 units/acre	4 units/acre	16 units/acre	Residential has been precluded due to industrial designation
<b>Maximum Density</b>	15 units/acre	As determined by Floor Area Ratio (FAR) or 36 units/acre, whichever is greater	12.9 acres/acre	As determined by Floor Area Ratio (FAR) or 32 units/acre, whichever is greater	
<b>Lot Area</b>	Defined by development design	Defined by development design	Interior 4,500 ft Corner 5,500 ft	Defined by development design	Defined by development design
<b>Parking</b>					
<b>Commercial/ Office</b>	1/500 SF (waived for restaurants)	1/500 SF (waived for restaurants)	1/500 SF	1/500 SF (waived for restaurants)	1/500 SF
<b>Industrial</b>					1/1000 where other users exceed 10% of gross floor area, requirement shall be sum total for each use
<b>Nightclubs</b>				1/500 SF	
<b>Residential spaces per unit</b>	Studio /1 bdrm = 1/unit 2+bedroom=1.5/unit Duplex=2/unit  Projects w/10+ units will provide 1 guest space /every 10 units	Studio /1 bdrm = 1/unit 2+bedroom=1.5/unit Duplex=2/unit  Projects w/10+ units will provide 1 guest space / every 10 units	Single-family=2/unit Office=1/500 SF  Refer to commercial conversion standards in Chapter 7	Studio /1 bdrm = 1 2+bedroom=1.5/unit  Projects w/10+ units will provide 1 guest space /every 10 units	
<b>Mixed-Use</b>	Sum of commercial and residential requirements	Sum of commercial and residential requirements		Sum of commercial and residential requirements	
<b>Incentives</b>	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking
(1) & (2) Refer to individual district requirements					

## 4.0 District Standards Quick Reference Guide

	Vernon Street DT-6	Dry Creek Mixed-Use DT-7	Creek View Residential DT-9	Vernon Bungalow Residential DT-10	Douglas Boulevard DT-11
<b>Build to line (1)</b>	0-10 ft	0-10 ft	0-15 ft	15 ft with 20 ft drive/18 ft with roll-up door	0-15 ft
<b>Front Setback Encroachment</b>	6 feet for uncovered steps and porches	6 feet for uncovered steps and porches	6 feet for uncovered steps and porches	6 feet for steps and porches	5 ft max for architectural features
<b>Side Setback</b>	0 ft	0 ft	5 feet (12.5 feet on corner lots)	5 feet (12.5 feet on corner lots)	0 ft
<b>Rear Setback</b>	0 ft	15 ft from top of bank or 10 ft from edge of creek walk	0 ft, or as regulated by the floodway boundary	10 ft	15 ft
<b>Minimum Lot Width</b>				Interior 45 ft Corner 55 ft	
<b>Maximum Height (2)</b>	5 story/75ft	4 story/60 ft	3 story/45 ft	2 story/35 ft	3 story/45 ft
<b>Minimum FAR (2)</b>	2.00	2.00	1.00	.20	.50
<b>Maximum FAR</b>	4.00	3.50	2.00	.40	1.00
<b>Minimum Density</b>	20 units/acre	20 units/acre	15 units/acre	4 units/acre	13 units/acre
<b>Maximum Density</b>	As determined by Floor Area Ratio (FAR) or 36 units/acre, whichever is greater	As determined by Floor Area Ratio (FAR) or 36 units/acre, whichever is greater	As determined by Floor Area Ratio (FAR) or 28 units/acre, whichever is greater	12.9 acres/acre	As determined by Floor Area Ratio (FAR) or 36 units/acre, whichever is greater
<b>Lot Area</b>	Defined by development design	Defined by development design	Defined by development design	Interior 4,500 ft Corner 5,500 ft or as approved through DRP	Defined by development design
<b>Parking</b>					
<b>Commercial/ Office</b>	1/500 SF (waived for restaurants)	1/500 SF (waived for restaurants)	1/500 SF	1/500 SF	1/500 SF (waived for restaurants)
<b>Industrial</b>					1/1000 where other users exceed 10% of gross floor area, requirement shall be sum total for each use
<b>Nightclubs</b>	1 per 500 SF				
<b>Residential spaces per unit</b>	Studio /1 bdrm = 1 2+bedroom=1.5/unit Projects w/10+ units will provide 1 guest space /every 10 units	Studio /1 bdrm = 1 2+bedroom=1.5/unit Duplex=2 Single-family=2/unit Projects w/10+ units will provide 1 guest space /every 10 units	Studio /1 bdrm = 1 2+bedroom=1.5/unit Duplex=2 Single-family=2/unit Projects w/10+ units will provide 1 guest space /every 10 units	Single-family=2/unit Office=1/500 SF  Refer to commercial conversion standards in Chapter 7	Studio /1 bdrm = 1 2+bedroom=1.5/unit Duplex=2  Projects w/10+ units will provide 1 guest space /every 10 units
<b>Mixed-Use</b>	Sum of commercial and residential requirements	Sum of commercial and residential requirements			Sum of commercial and residential requirements
<b>Incentives</b>	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking	On-street parking, lot consolidation & public art can reduce required amount of off-street parking

## 4.0 District Standards Quick Reference Guide

### 4.1 Washington Corridor District (DT-1)

The Washington Corridor District is comprised of the districts formerly designated Old Town Historic District (HD), Highway Commercial (HC), Community Commercial (CC), and Attached Housing (R3). The **Downtown Code** provides development standards and design criteria for the Washington Corridor District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	39
*Projected New Units	50
<b>Total Projected Units</b>	<b>89</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	94,071
**Projected New SQFT	164,240
<b>Total Projected SQFT</b>	<b>258,311</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** CC

**Zoning:** CMU/SA-DT

**Net Acres:** 11.86

#### Encouraged Principally Permitted Uses in the Washington Corridor District

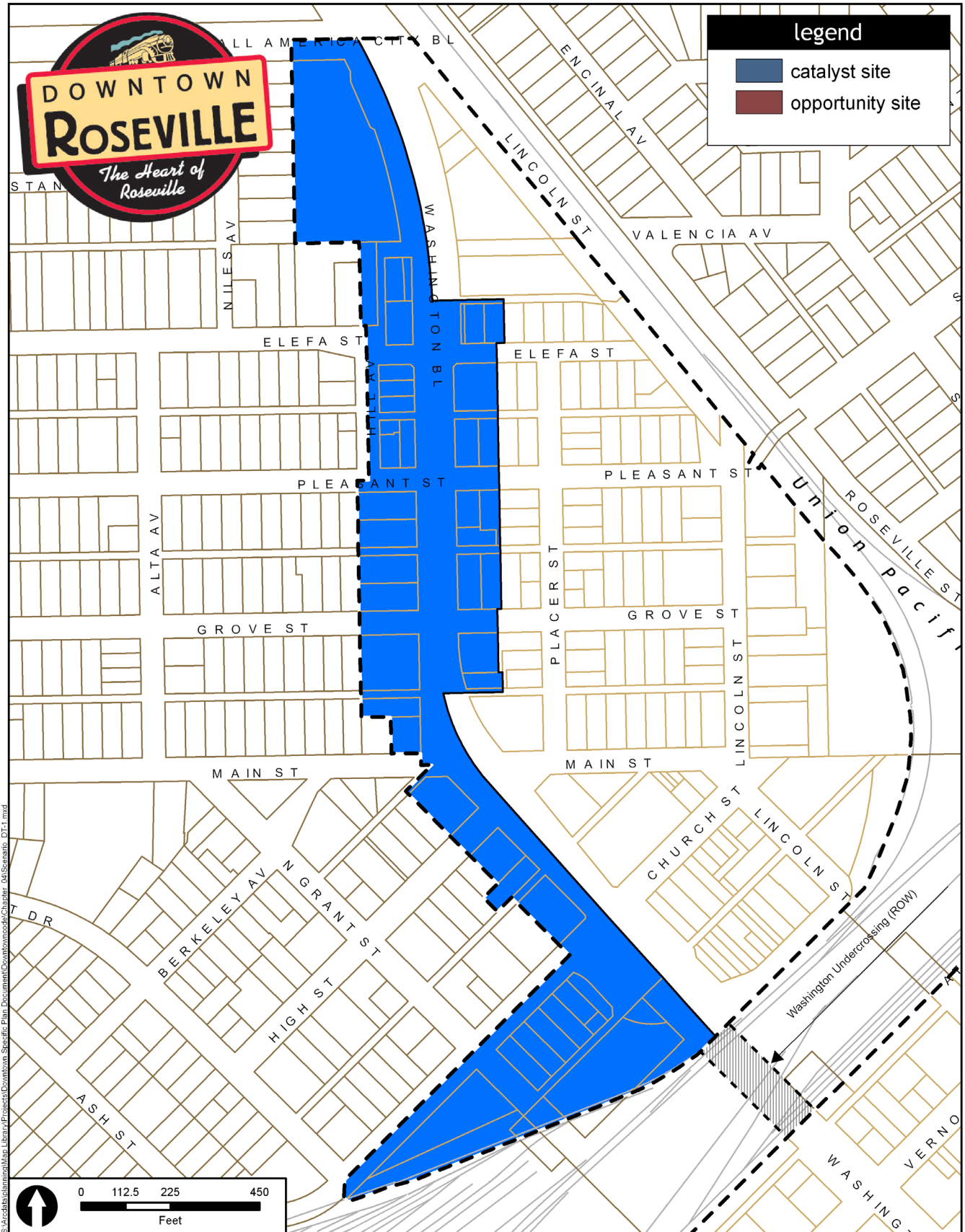
- Mixed use
- Retail
- Restaurants
- Services
- Offices
- Multi-family residential
- Parking and Transit Facilities
- Community Assembly

For a full list of principally and conditionally permitted uses, please refer to Chapter 2



# 4.0 District Standards Quick Reference Guide

## 4.1.1 - 20 yr Build-Out Scenario - Washington Corridor District (DT-1)



## 4.0 District Standards Quick Reference Guide

### 4.1.2 Washington Corridor District Development Standards

#### A. Setbacks, Height and Intensity

1) **Build to line:** 0 -15 feet

**Front Setback Encroachment:** 5 foot maximum for architectural features.

**Side Setback:** 0 feet

**Rear Setback:** 15 feet

2) **Maximum Height:** Three Story (45 feet)

2) **Minimum FAR:** .50

**Maximum FAR:** 1.00

**Minimum Density:** 13 units/acre

**Maximum Density:** 15 units/acre

**Lot Area:** Defined by development design

#### B. Parking Summary Requirements

**Refer to Chapter 3 for full discussion of required parking**

**Locations:** Behind building, parking structure, subterranean, or fee in-lieu of on-site parking

**Commercial/Office:** 1/500 sq. ft. (parking requirements waived for restaurants)

##### Residential:

- Studio or 1 bedroom = 1/unit
- 2+ bedroom = 1.5/unit
- Duplex = 2/unit
- Projects with 10+ residential units will provide 1 guest space/every 10 units

**Mixed Use:** Sum of Commercial and Residential requirements

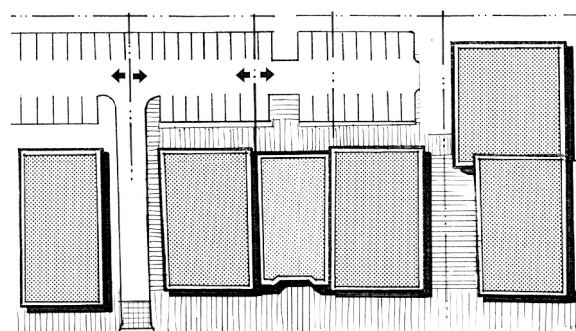
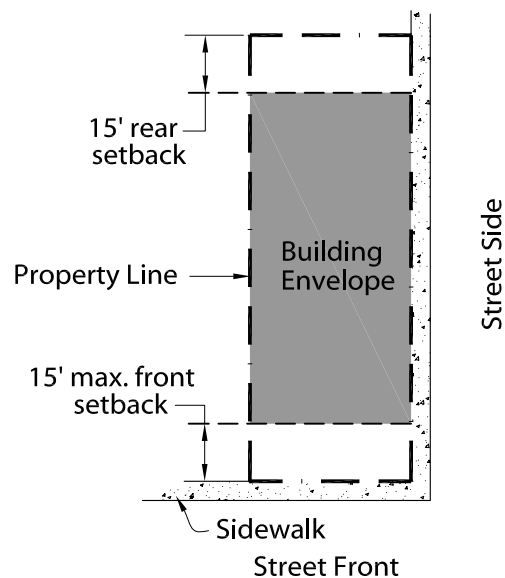
**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

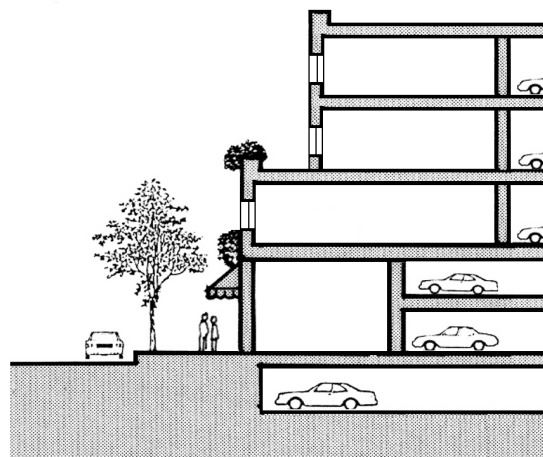
##### Notes:

1) *Build to line* is the maximum distance a building should be setback from the front property line. The intent is to front buildings directly on the adjacent sidewalk (refer to Chapter 5-5.3.1).

2) Refer to incentives in Chapter 3 regarding height and floor area ratio



*Shared parking and access agreements are encouraged*



*Structural and subterranean parking are encouraged*

# 4.0 District Standards Quick Reference Guide

## 4.1.2 Washington Corridor District Development Standards

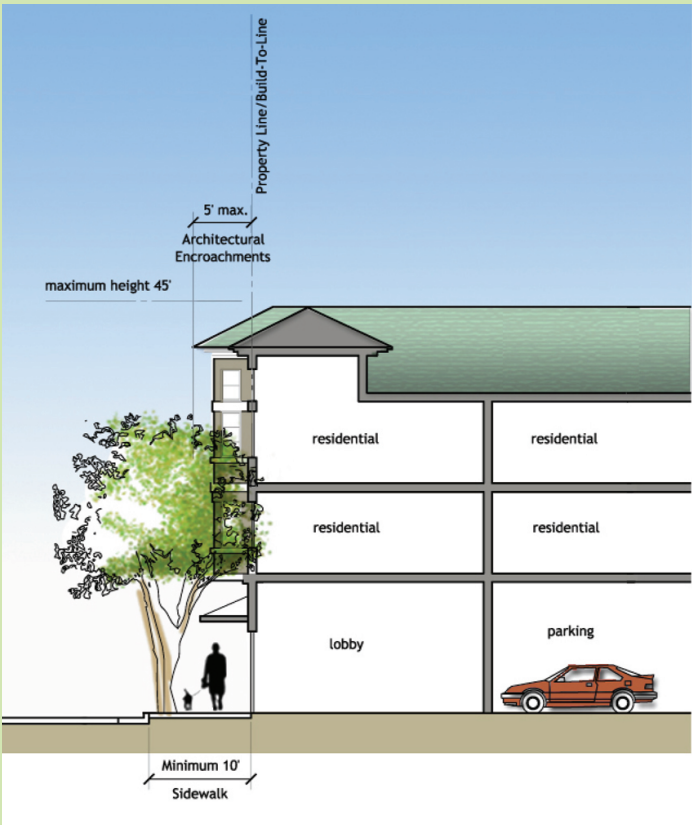
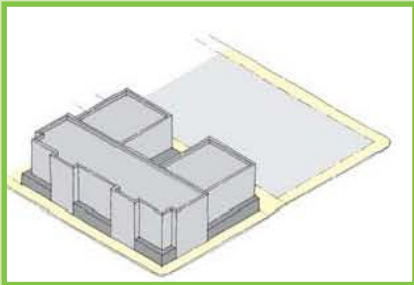
### C. Special Provisions

- 1. A maximum of 25,000 square feet of single use ground floor retail/office can be developed within this district. Projects that exceed this amount require a Conditional Use Permit.
- 2. Washington Boulevard has been designated as a retail frontage street. Special design considerations for this street are contained in Chapter 5.

### D. Acceptable Development Types

#### PODIUM

A podium building type contains residential units above a ground floor parking garage.



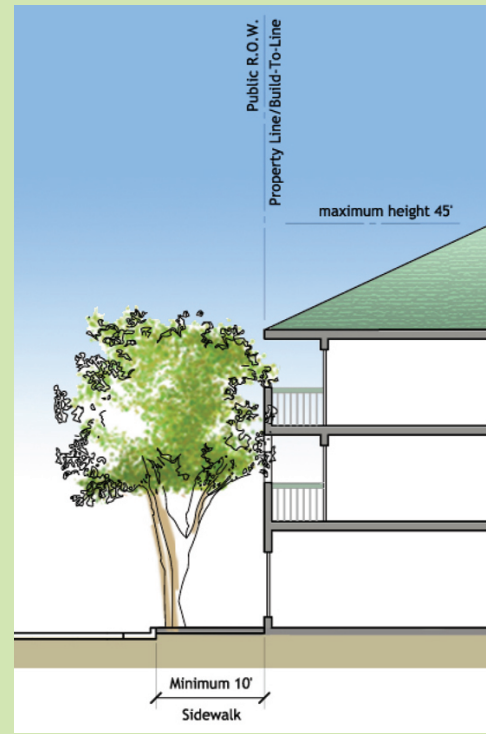
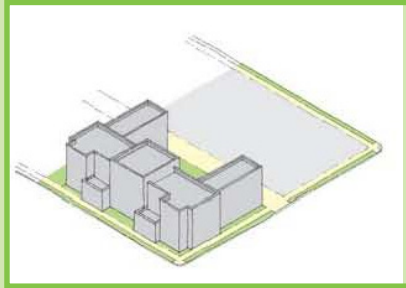
# 4.0 District Standards Quick Reference Guide

## 4.1.2 Washington Corridor District Development Standards

### D. Acceptable Development Types - cont.

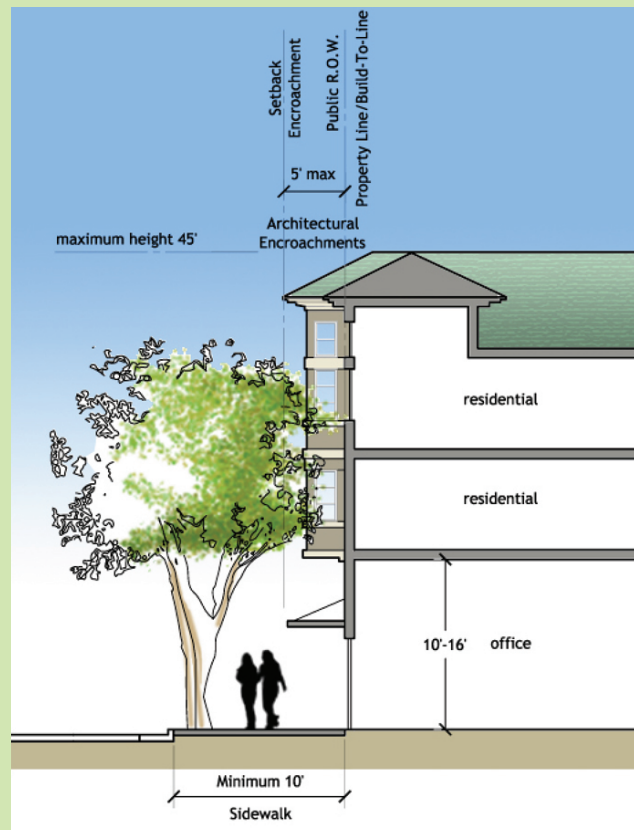
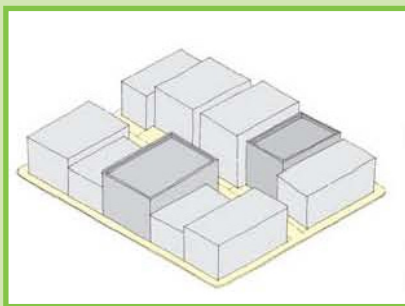
#### TERRACE

A terraced building type consists of flats over flats or townhouses over flats.



#### INFILL COMMERCIAL

These building types are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices or residences.



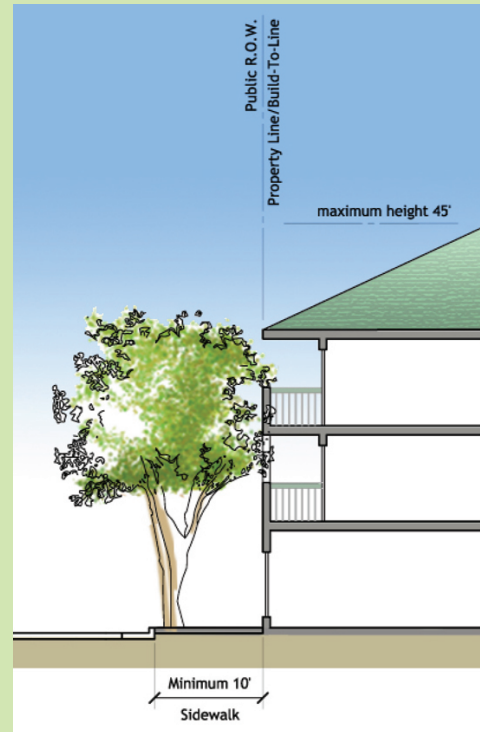
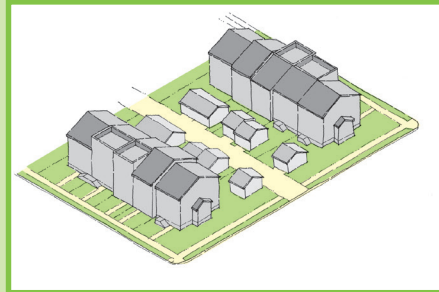
# 4.0 District Standards Quick Reference Guide

## 4.1.2 Washington Corridor District Development Standards

### D. Acceptable Development Types - cont.

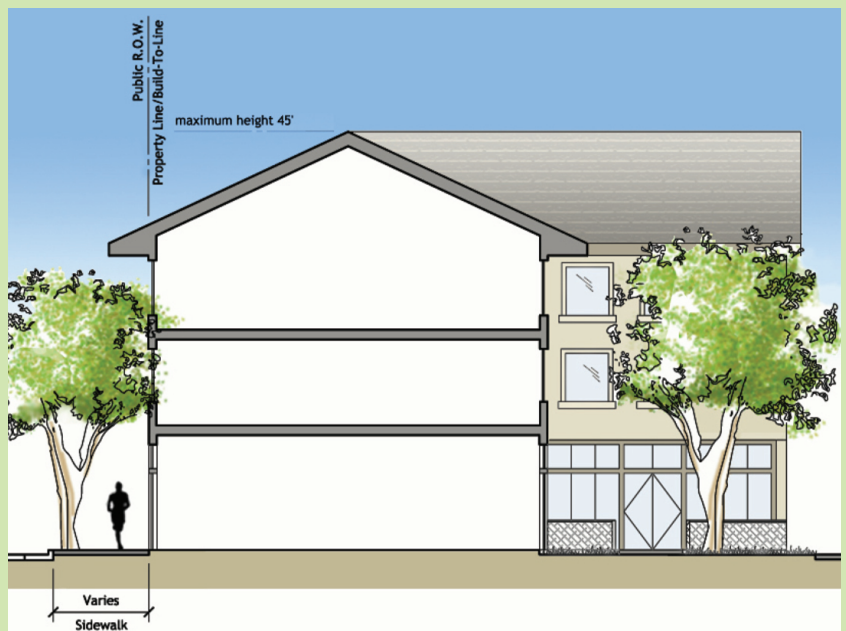
#### TOWNHOUSE

A series of dwelling units situated side by side that share common wall(s). This type of construction is promoted within this district to promote a strong street presence.



#### COURTYARD

A courtyard building type employs residences (flats or townhouses) around common space(s).



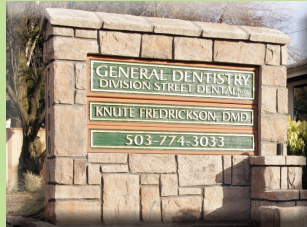
# 4.0 District Standards Quick Reference Guide

## 4.1.2 Washington Corridor District Development Standards

### E. Permitted Sign Types



Alleyway



Monument



Over Canopy



Awning



Menu Board



Under Canopy



Back Door



Wall



Inlaid Floor



Vertical Blade



Sidewalk Sign



Window

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.1.2 Washington Corridor District Development Standards

#### F. Streetscapes

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

#### Residential Streetscapes

##### Forecourt

In a **Forecourt (Residential)** frontage type, the majority of the façade is aligned close to the frontage line while a portion is setback to form a courtyard.

##### Standards:

- Maximum courtyard depth of 35 feet;
- Maximum courtyard elevation of 40 inches;
- Fences or walls at the property line are prohibited.

##### Porch and Fence

The Porch and Fence frontage type, which utilizes a setback and often employs a short, two or three foot tall fence or wall, is typically associated with single family homes. However, this element can be an attractive feature to high density development, as well.

##### Standards:

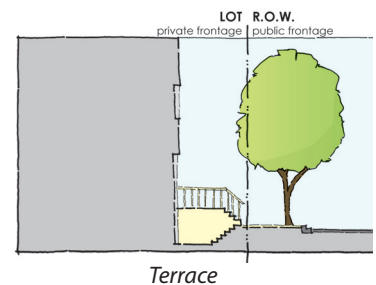
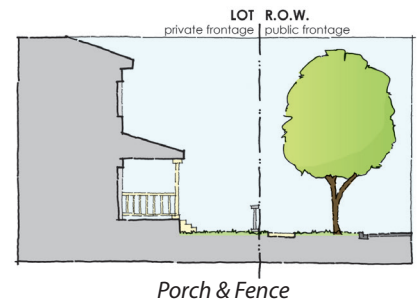
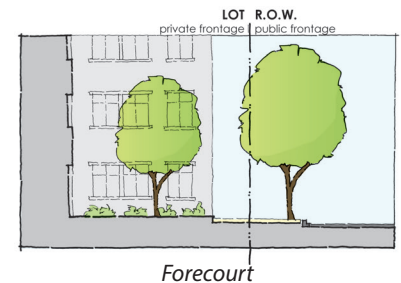
- Porches shall be at least 8 feet deep, 12 feet wide with a minimum total of 80 square feet;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Maximum fence height is 3 feet.

##### Terrace

A terrace frontage type consists of an elevated lawn or entryway placed near the front property line. Suitable for attached, higher density, multi-residential uses.

##### Standards:

- Front entry doors and porches facing street are preferred;
- Bay windows or other projections may project up to 3 feet into front setback;
- Steps/stoop may project to back of sidewalk;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Open porches may project up to 6 feet into setback.



## 4.0 District Standards Quick Reference Guide

### 4.1.2 Washington Corridor District Development Standards

#### F. Streetscapes (cont.)

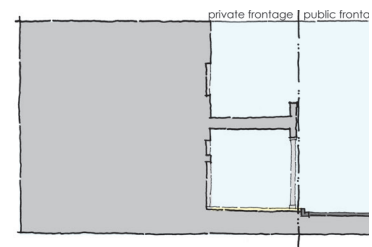
### Commercial Streetscapes

#### Gallery

The **Gallery** frontage type is similar to the arcade frontage, but, unlike an arcade, the covered promenade extends beyond the exterior wall of a building. This type of commercial frontage is typically employed when exposure to the elements is a concern.

##### Standards:

- Minimum width of 12 feet in all directions;
- At least 75% of the ground floor gallery shall open to the storefront;
- Gallery openings shall correspond with storefront openings.



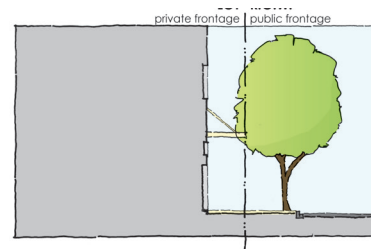
Gallery

#### Storefront and Awning

The **Storefront and Awning (Commercial)** frontage type describes a commercial façade placed at or near the "build-to" front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

##### Standards:

- Maximum height of a storefront should be between 12 and 16 feet, but shall not be less than 10 feet;
- The storefront shall contain at least 65% clear glass;
- In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible,
- Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.



Storefront & Awning



## 4.0 District Standards Quick Reference Guide

### 4.2 Washington Corridor (Intensified) District (DT-2)

The Washington Corridor (Intensified) District is comprised of the districts formerly designated Highway Commercial (HC), Community Commercial (CC), and Attached Housing (R3). The **Downtown Code** provides development standards and design criteria for the Washington Corridor Intensified District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Inclusive of mixed-use units)

Original Units	0
*Projected New Units	68
<b>Total Projected Units</b>	<b>68</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	0
**Projected New SQFT	98,881
<b>Total Projected SQFT</b>	<b>98,881</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** CC

**Zoning:** CMU/SA-DT

**Net Acres:** 2.27

#### Principally Permitted Uses in the Washington Corridor (Intensified) District

- Live/Work
- Mixed use
- Multi-family residential
- Offices Retail
- Personal Services
- Restaurants
- Day Care

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.2.1 - 20 yr Build-Out Scenario - Washington Corridor Intensified (DT-2)



# 4.0 District Standards Quick Reference Guide

## 4.2.2 Washington Corridor (Intensified) District Development Standards

### A. Setbacks, Height and Intensity

- 1) **Build to line:** 0-15 feet  
**Front Setback Encroachment:** 5 foot maximum for architectural features.
- Side Setback:** 0 feet
- Rear Setback:** 15 feet
- 2) **Maximum Height:** Three Story (45 feet )
- 2) **Minimum FAR:** .50  
**Maximum FAR:** 1.00
- Minimum Density:** 13 units/acre
- Maximum Density:** As determined by Floor Area Ratio (FAR) or 36 units/acre, whichever is greater
- Lot Area:** Defined by development design

### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Behind building, parking structure, subterranean, or fee in-lieu of on-site parking

**Commercial/Office:** 1/500 sq. ft. (parking requirements waived for restaurants)

**Residential:**

- Studio or 1 bedroom = 1/unit
- 2+ bedroom = 1.5/unit
- Duplex = 2/unit
- Projects with 10+ residential units will provide 1 guest space/ every 10 units

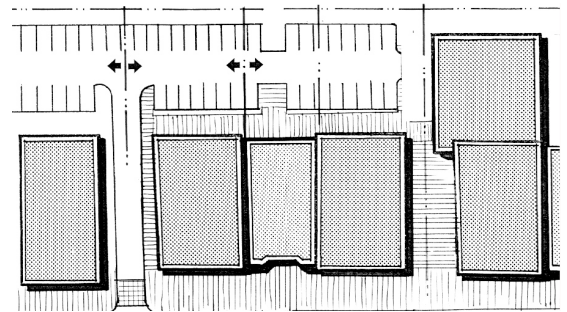
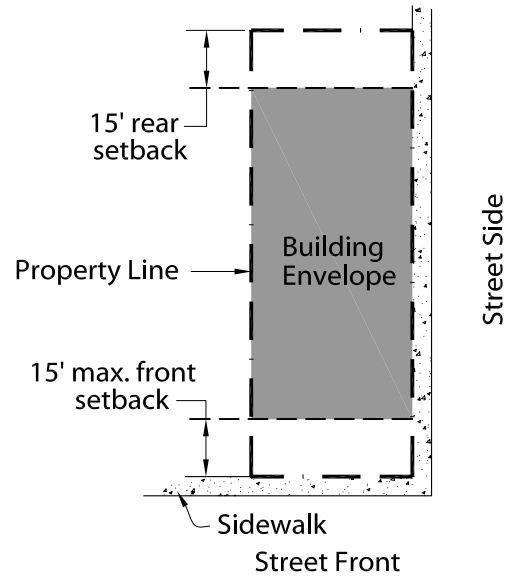
**Mixed Use:** Sum of Commercial and Residential requirements

**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

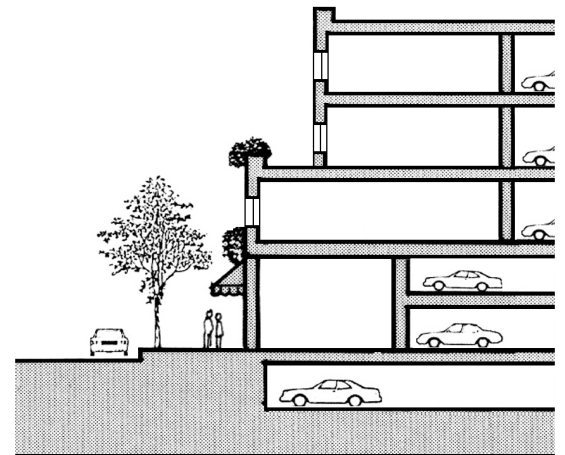
Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

**Notes:**

- 1) *Build to line is the maximum distance a building should be setback from the front property line. The intent is to front buildings directly on the adjacent sidewalk (refer to Chapter 5-5.3.1).*
- 2) *Refer to incentives in Chapter 3 regarding height and floor area ratio*



*Shared parking and access agreements are encouraged*



*Structural and subterranean parking are encouraged*

## 4.0 District Standards Quick Reference Guide

### 4.2.2 Washington Corridor (Intensified) District Development Standards

#### **C. Special Provisions**

1. A maximum of 25,000 square feet of single use ground floor retail/office can be developed within this district. Projects that exceed this amount require a Conditional Use Permit.
2. Washington Boulevard has been designated as a retail frontage street. Special design considerations for this street are contained in Chapter 5.
3. The intersection of Washington Boulevard and Lincoln Street is an entry to the Downtown. Future development of the vacant property at this location will accommodate an entry element as represented in the Pre-Design exhibited in Chapter 9. Future development shall consider the unique shape of this parcel and utilize building siting, form and architecture to enhance this entry



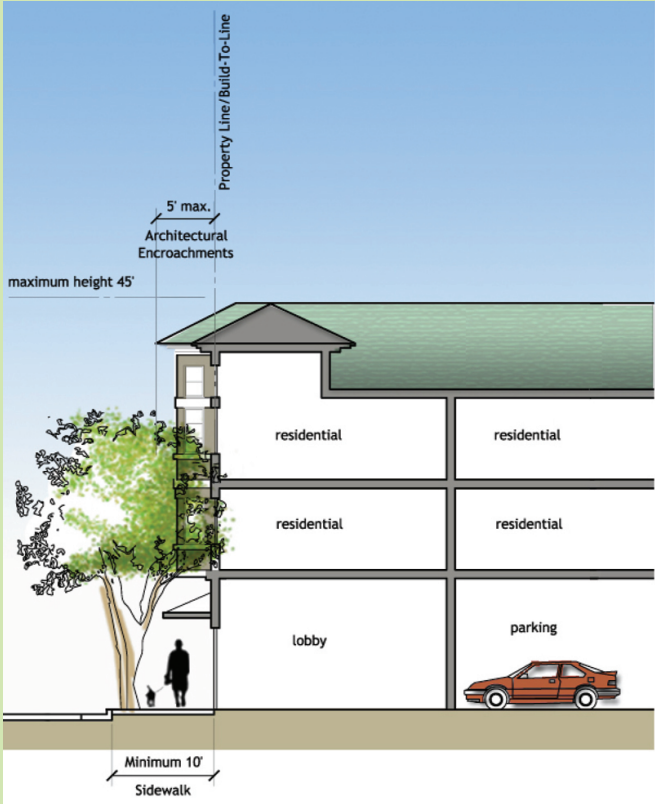
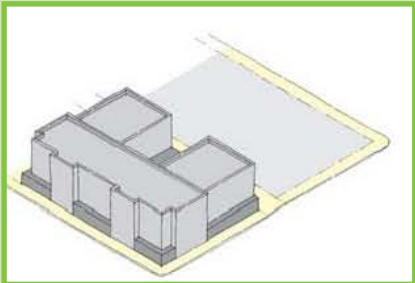
# 4.0 District Standards Quick Reference Guide

## 4.2.2 Washington Corridor (Intensified) District Development Standards

### D. Acceptable Development Types

#### PODIUM

A podium building type contains residential units above a ground floor parking garage.



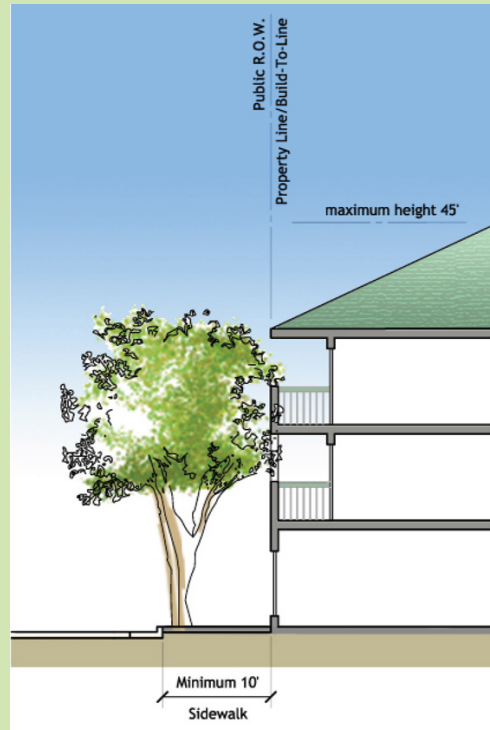
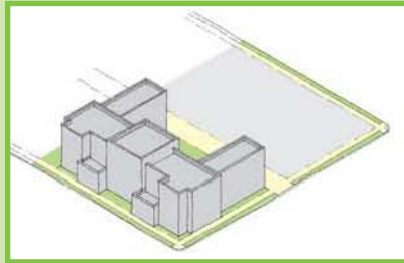
# 4.0 District Standards Quick Reference Guide

## 4.2.2 Washington Corridor (Intensified) District Development Standards

### D. Acceptable Development Types - cont.

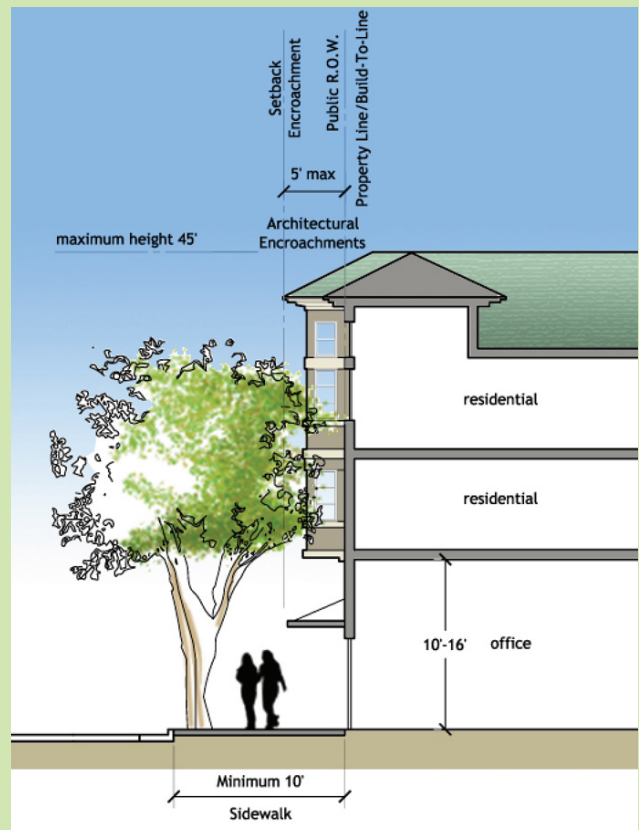
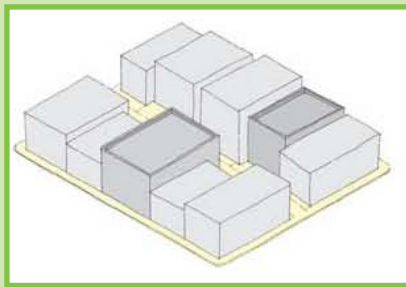
#### TERRACE

A terraced building type consists of flats over flats or townhouses over flats.



#### INFILL COMMERCIAL

These building types are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices or residences.



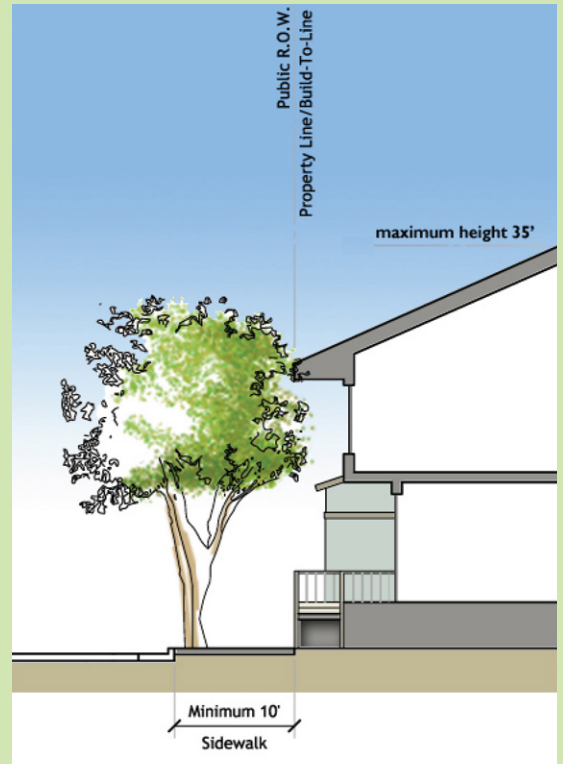
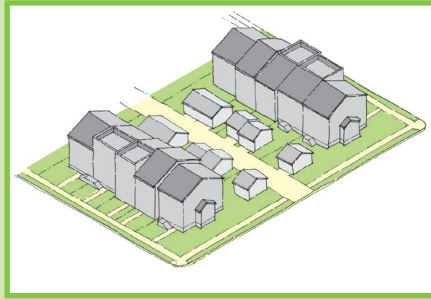
# 4.0 District Standards Quick Reference Guide

## 4.2.2 Washington Corridor (Intensified) District Development Standards

### D. Acceptable Development Types - cont.

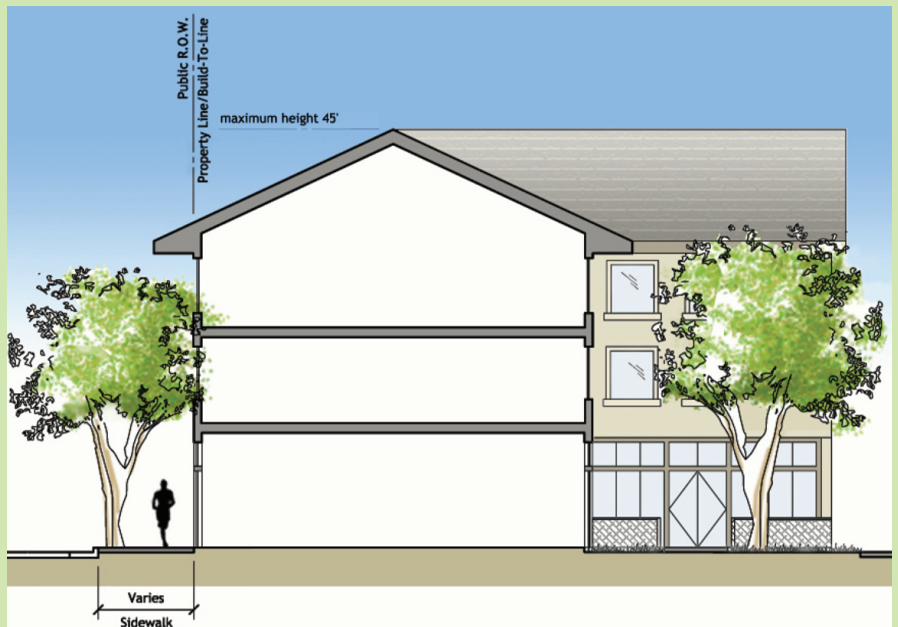
#### TOWNHOUSE

A series of dwelling units situated side by side that share common wall(s). This type of construction is promoted within this district to promote a strong street presence.



#### COURTYARD

A courtyard building type employs residences (flats or townhouses) around common space(s).



# 4.0 District Standards Quick Reference Guide

## 4.2.2 Washington Corridor (Intensified) District Development Standards

### E. Permitted Sign Types



Alleyway



Menu Board



Over Canopy



Awning



Monument



Vertical Marquee



Back Door



Under Canopy



Vertical Blade



Inlaid Floor



Wall



Window

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



# 4.0 District Standards Quick Reference Guide

## 4.2.2 Washington Corridor (Intensified) District Development Standards

### F. Streetscapes

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

### Residential Streetscapes

In a **Forecourt (Residential)** frontage type, the majority of the façade is aligned close to the frontage line while a portion is setback to form a courtyard.

#### Standards:

- Maximum depth of 35 feet;
- Maximum courtyard elevation of 40 inches;
- Fences or walls at the property line are prohibited.

#### Porch and Fence

The Porch and Fence frontage type, which utilizes a setback and often employs a short, two or three foot tall fence or wall, is typically associated with single family homes. However, this element can be an attractive feature to high density development, as well.

#### Standards:

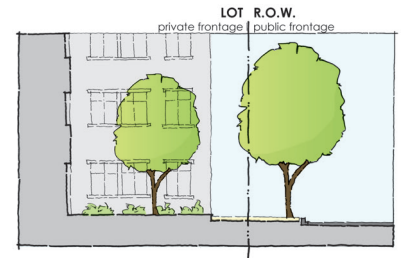
- Porches shall be at least 8 feet deep, 12 feet wide with a minimum total of 80 square feet;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Maximum fence height is 3 feet.

#### Terrace

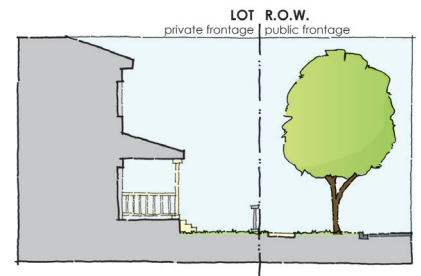
A terrace frontage type consists of an elevated lawn or entryway placed near the front property line. Suitable for attached, higher density, multi-residential uses.

#### Standards:

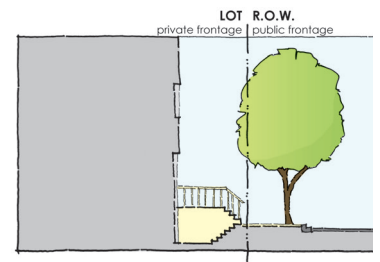
- Front entry doors and porches facing street are preferred;
- Bay windows or other projections may project up to 3 feet into front setback;
- Steps/stoop may project to back of sidewalk;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Open porches may project up to 6 feet into setback.



Forecourt



Porch & Fence



Terrace



## 4.0 District Standards Quick Reference Guide

### 4.2.2 Washington Corridor (Intensified) District Development Standards

#### F. Streetscapes (cont.)

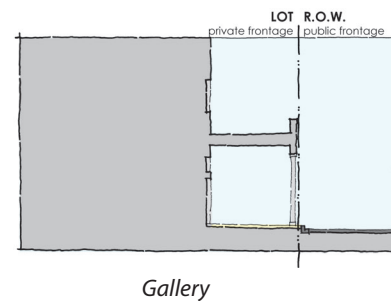
#### Commercial Streetscapes

##### Gallery

The **Gallery** frontage type is similar to the arcade frontage, but, unlike an arcade, the covered promenade extends beyond the exterior wall of a building. This type of commercial frontage is typically employed when exposure to the elements is a concern.

##### **Standards:**

- Minimum width of 12 feet in all directions;
- At least 75% of the ground floor gallery shall open to the storefront;
- Gallery openings shall correspond with storefront openings.

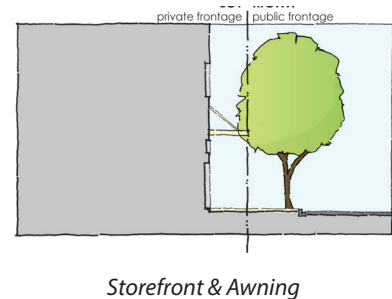


##### Storefront and Awning

The **Storefront and Awning (Commercial)** frontage type describes a commercial façade placed at or near the “build-to” front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

##### **Standards:**

- Maximum height of a storefront should be between 12 and 16 feet, but shall not be less than 10 feet;
- The storefront shall contain at least 65% clear glass;
- In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible,
- Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.



## 4.0 District Standards Quick Reference Guide

### 4.3 Old Town Bungalow District (DT-3)

The Old Town Bungalow District is comprised of the districts formerly designated Old Town Historic District (HD), Highway Commercial (HC), Community Commercial (CC), and Attached Housing (R3). The **Downtown Code** provides development standards and design criteria for the Old Town Bungalow District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	77
*Projected New Units	22
<b>Total Projected Units</b>	<b>99</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	76,441
**Projected New SQFT	22,679
<b>Total Projected SQFT</b>	<b>99,120</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** MDR

**Zoning:** RMU/SA-DT

**Net Acres:** 8.26

#### Encouraged Principally Permitted Uses in the Old Town Bungalow District

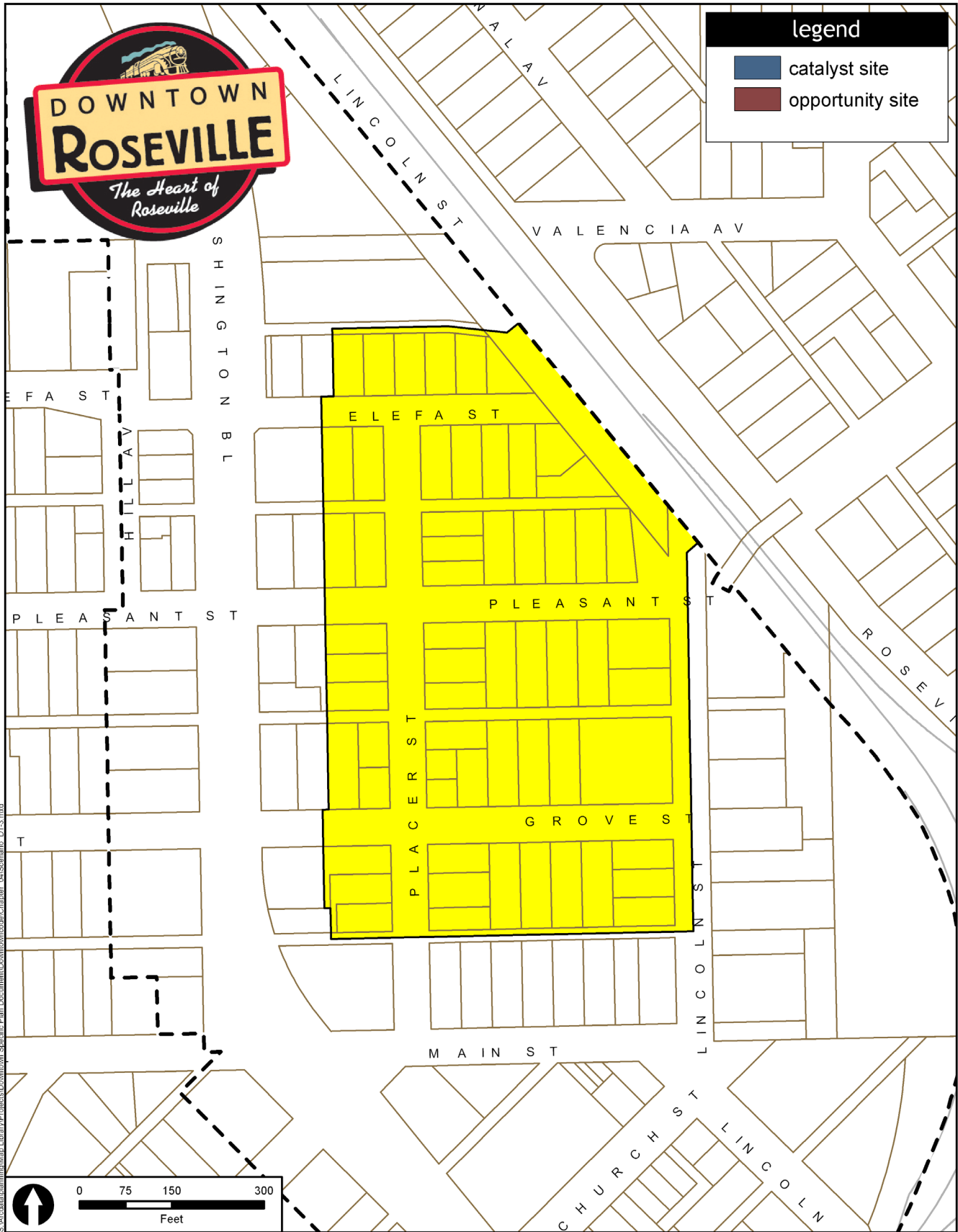
- *Single-family residential*
- *Cottage Offices*
- *Medium density residential*
- *2nd dwelling units*
- *Duplexes*
- *Live work*

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.3.2 - 20 yr Build-Out Scenario - Old Town Bungalow District (DT-3)



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# 4.0 District Standards Quick Reference Guide

## 4.3.2 Old Town Bungalow District Development Standards

### A. Setbacks, Height and Intensity

**Front Setback:** 15 feet with 20 ft drive/18 ft with roll-up door

**Front Setback Encroachment:** 6 feet for steps and porches

**Side Setback:** 5 feet (12.5 feet on corner lots)

**Rear Setback:** 10 feet

**Minimum Lot Width:** Interior 45 ft  
Corner 55 ft

**Maximum Height:** Two Story (35 feet)

**Minimum FAR:** .20

**Maximum FAR:** .40

**Minimum Density:** 4 units/acre

**Maximum Density:** 12.9 units/acre (unless utilizing a cottage courtyard product)

**Lot Area:** Interior = 4,500 ft     Corner = 5,500 ft

Or as defined by development design approved through a Design Review Permit.

**Office Setbacks:** As required by adopted Building and Fire Codes

### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Alley-loaded garage (attached or detached), street-loaded garage, parking lot accessed via alley

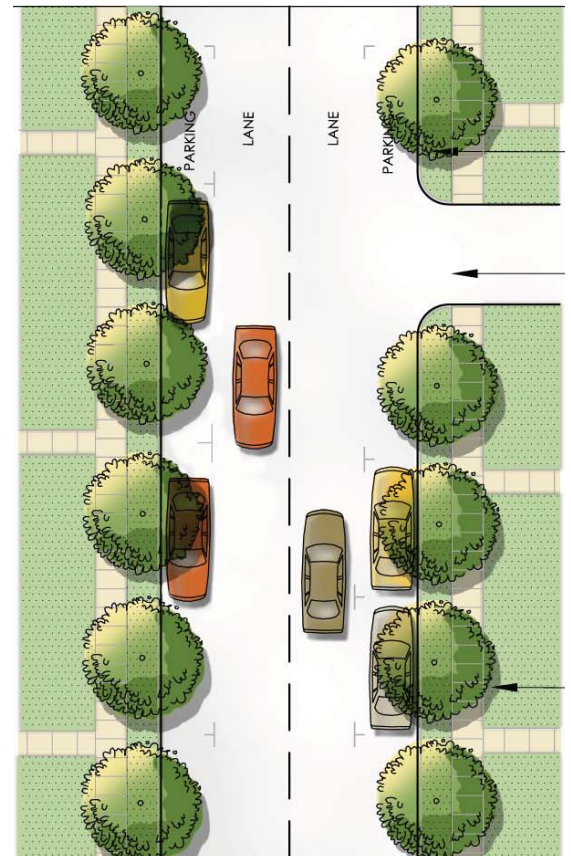
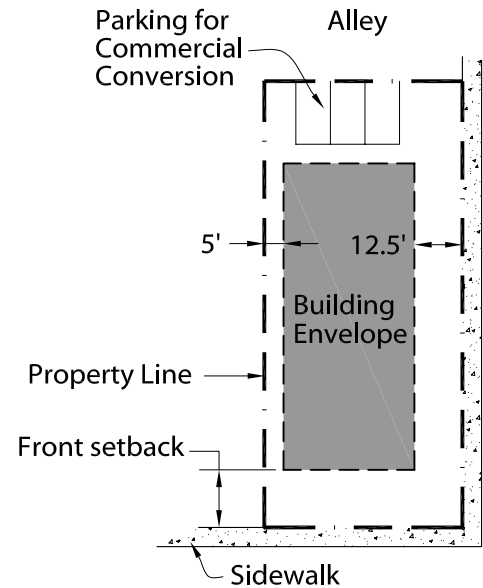
1) **Commercial/Office:** 1/500 sq. ft.

**Residential:**

- Single-family = 2/unit
- Office = 1/500 square feet

**Incentives:** Parking can be satisfied via payment of a parking in-lieu fee.

2) Refer to Residential to Commercial conversion standard in Chapter 7



On-street parking is available to supplement residential conversions to offices where available, parking can also be provided via the alley access.

## 4.0 District Standards Quick Reference Guide

### 4.3.2 Old Town Bungalow District Development Standards

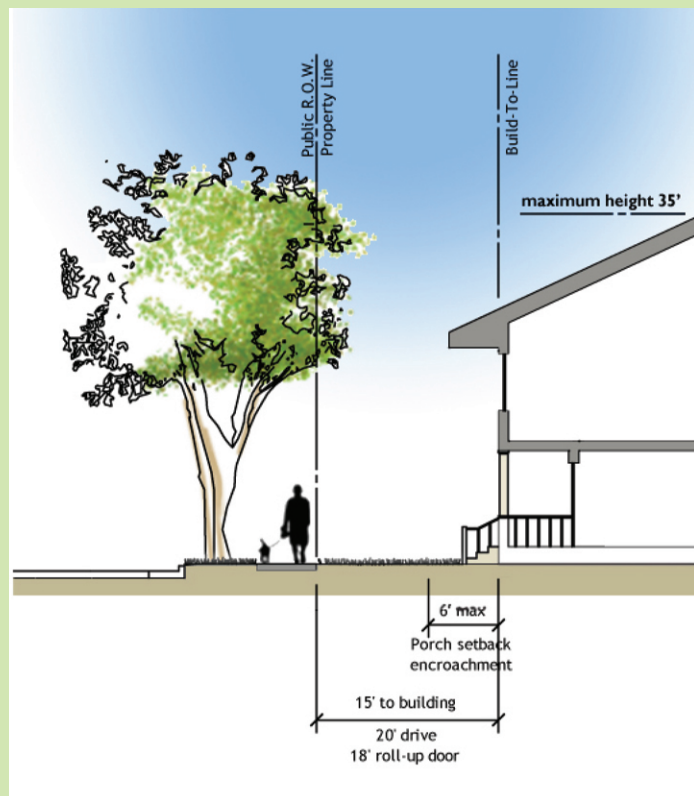
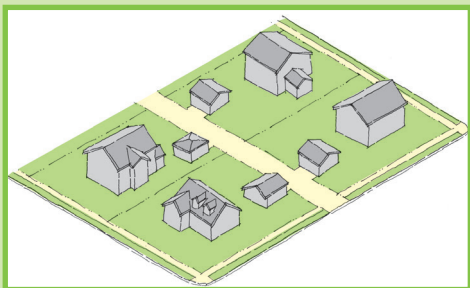
#### C. Special Provisions

1. Cottage office space can be approved via a zoning clearance when conforming with the residential to office conversion standards contained in Chapter 7, page 7-33.

#### D. Acceptable Development Types

##### COTTAGE OFFICE

A cottage office building type is a detached building, similar to or formerly used as a single family home, that is now occupied by an office use.



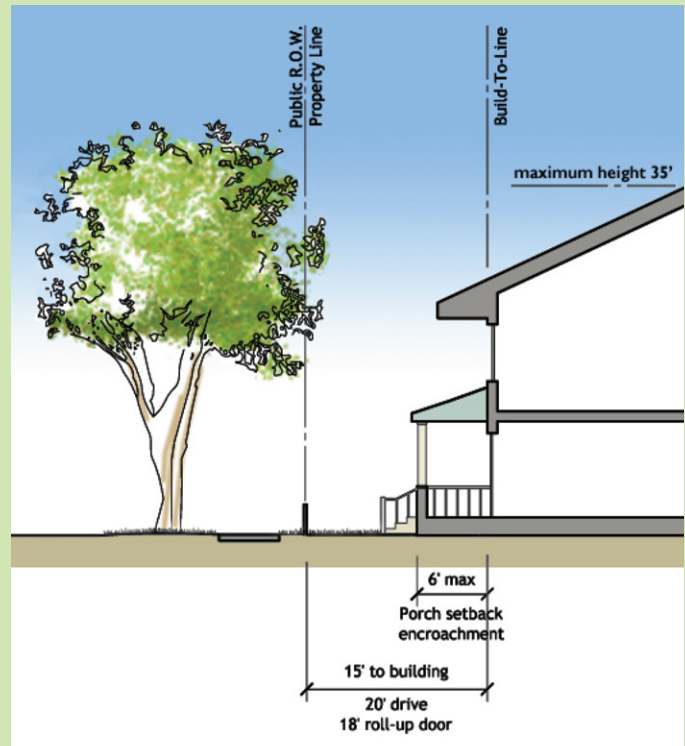
# 4.0 District Standards Quick Reference Guide

## 4.3.2 Old Town Bungalow District Development Standards

### D. Acceptable Development Types - cont.

#### COTTAGE COURTYARD

A courtyard building type that positions residences (flats or townhouses) around common space(s). Refer to design criteria contained in Chapter 7 of this document.



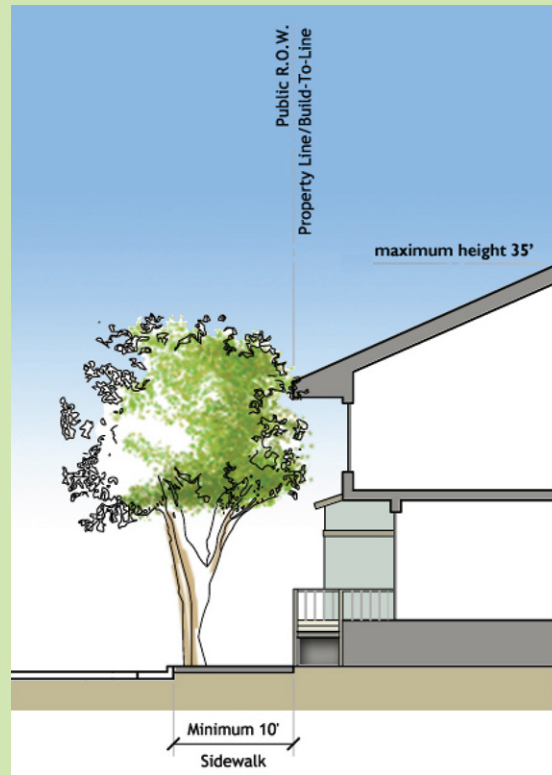
## 4.0 District Standards Quick Reference Guide

### 4.3.2 Old Town Bungalow District Development Standards

#### D. Acceptable Development Types - cont.

##### **TOWNHOUSE**

A series of dwelling units situated side by side that share common wall(s). This type of construction is promoted within this district to promote a strong street presence.



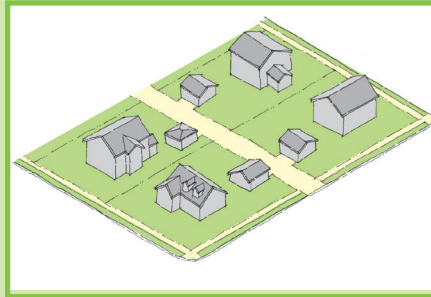
## 4.0 District Standards Quick Reference Guide

### 4.3.2 Old Town Bungalow District Development Standards

#### **D. Acceptable Development Types - cont.**

##### **SINGLE FAMILY**

Detached buildings designed exclusively for occupancy by one family; may include second dwelling units, which are detached or attached living quarters independent of the primary residence (see Municipal Code Chapter 19.60)



#### **E. Permitted Sign Types (Office Use Only)**



*Back Door*



*Projecting*



*Monument*

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.3.2 Old Town Bungalow District Development Standards

#### **F. Streetscapes**

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms

#### **Residential Streetscapes**

##### **Porch and Fence**

The Porch and Fence frontage type, which utilizes a setback and often employs a short, two or three foot tall fence or wall, is typically associated with single family homes.

##### **Standards:**

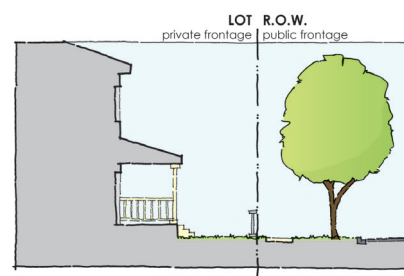
- Porches shall be at least 8 feet deep, 12 feet wide with a minimum total of 80 square feet;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Porches may encroach into the front setback a maximum of 6 feet;
- Maximum fence height is 3 feet.

##### **Terrace**

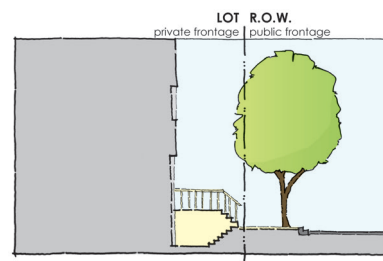
A terrace frontage type consists of an elevated lawn or entryway placed near the front property line. Suitable for attached, higher density, multi-residential uses.

##### **Standards:**

- Front entry doors and porches facing street are preferred;
- Bay windows or other projections may project up to 3 feet into front setback;
- Steps/stoop may project to back of sidewalk;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Open porches may project up to 6 feet into setback.



Porch & Fence



Terrace



## 4.0 District Standards Quick Reference Guide

### 4.4 Old Town Commercial District (DT-4)

The Old Town Commercial District is comprised of the district formerly designated as Old Town Historic District (HD). The **Downtown Code** provides development standards and design criteria for the Old Town Commercial District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	24
*Projected New Units	134
<b>Total Projected Units</b>	<b>158</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	131,704
**Projected New SQFT	514,509
<b>Total Projected SQFT</b>	<b>646,213</b>

##### Notes:

- \*Total Projected Units at 20 year buildout minus Original Units
- \*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** CBD

**Zoning:** HD/SA-DT

**Net Acres:** 9.89

#### Encouraged Principally Permitted Uses in the Old Town Commercial District

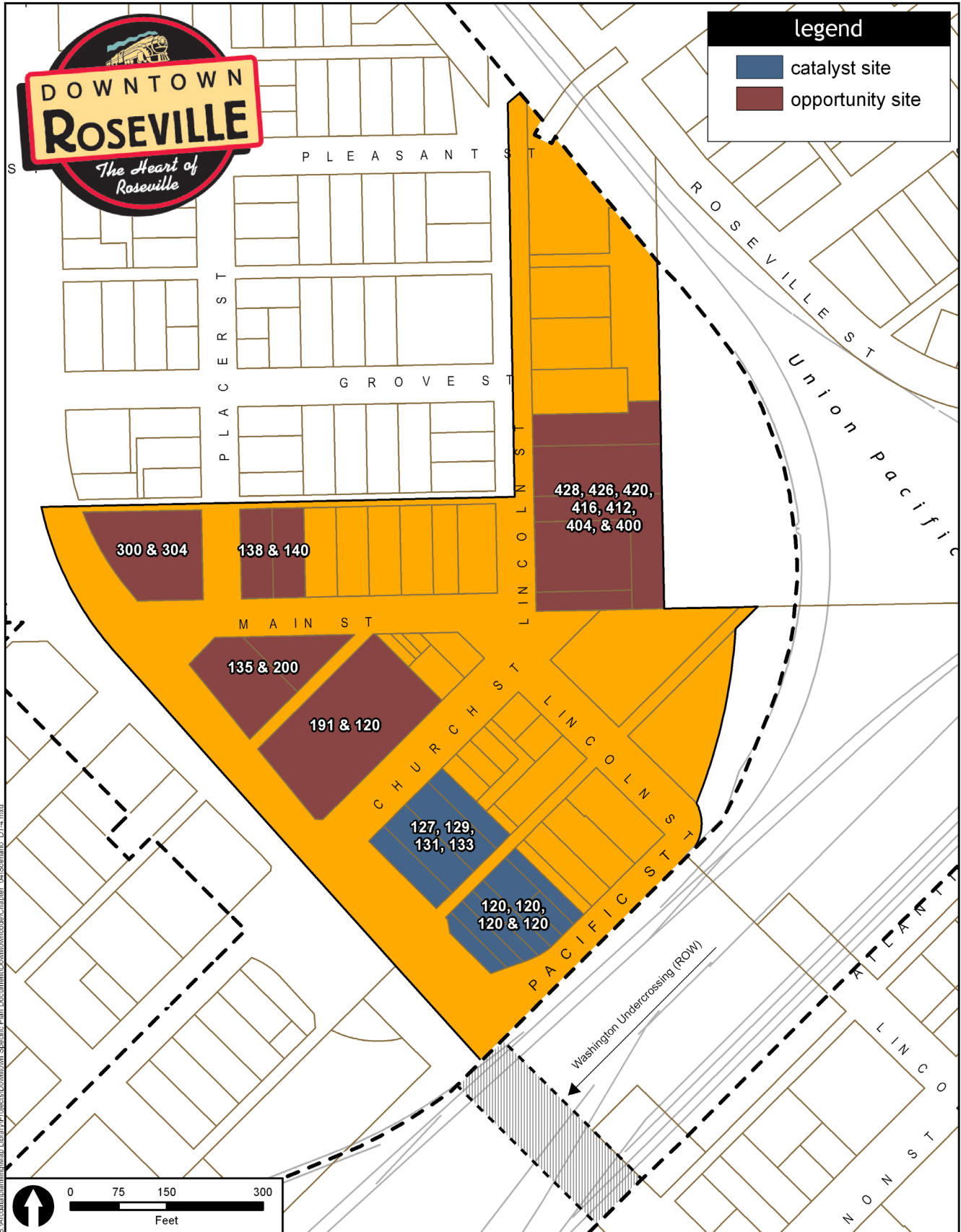
- *Mixed use*
- *Retail*
- *Restaurants*
- *Entertainment*
- *Nightclubs*
- *Grocery store/pharmacy*
- *Offices (upper floors)*
- *Multi-family residential*
- *Live/work space*

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.4.1 - 20 yr Build-Out Scenario - Old Town Commercial District (DT-4)



# 4.0 District Standards Quick Reference Guide

## 4.4.2 Old Town Commercial District Development Standards

### A. Setbacks, Height and Intensity

- 1) **Build to line:** 0 -10 feet
  - Side Setback:** 0 feet
  - Rear Setback:** 0 feet
- 2) **Maximum Height:** Four Story (60')
- 2) **Minimum FAR:** 1.50
  - Maximum FAR:** 3.00
- Minimum Density:** 16 units/acre
- Maximum Density:** As determined by the Floor Area Ratio (FAR) or 32 units per acre, whichever is greater
- Lot Area:** Defined by development design

### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Behind building, Parking structure, Subterranean, Fee in-lieu of on-site parking

**Commercial/Office:** 1/500 sq. ft. (parking requirements waived for restaurants)

**Nightclubs:** 1/500 sq. ft.

**Residential:**

- Studio or 1 bedroom = 1/unit
- 2+ bedroom = 1.5/unit
- Projects with 10+ residential units will provide 1 guest space/every 10 units

**Mixed Use:** Sum of Commercial and Residential requirements

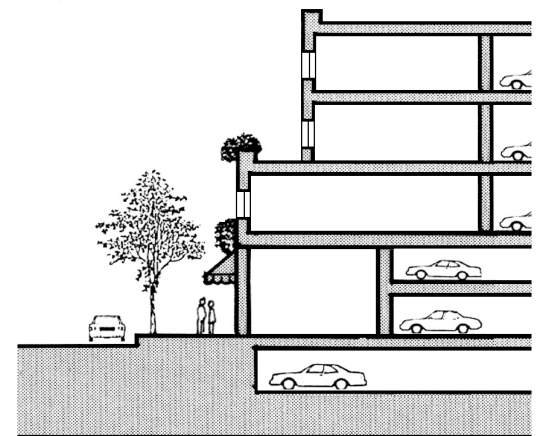
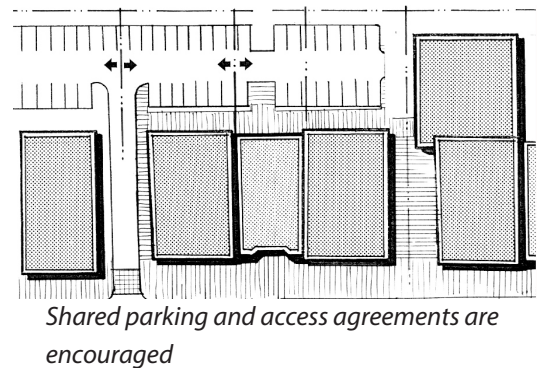
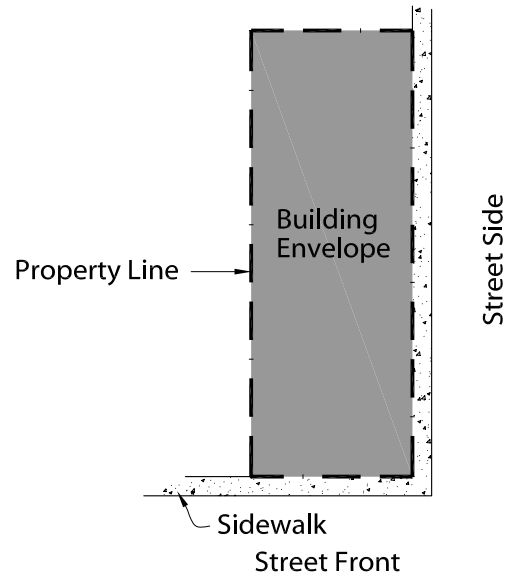
**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

**Notes:**

1) *Build to line is the maximum distance a building should be setback from the front property line. The intent is to front buildings directly on the adjacent sidewalk (refer to Chapter 5-5.3.1).*

2) *Refer to incentives in Chapter 3 regarding height and floor area ratio*

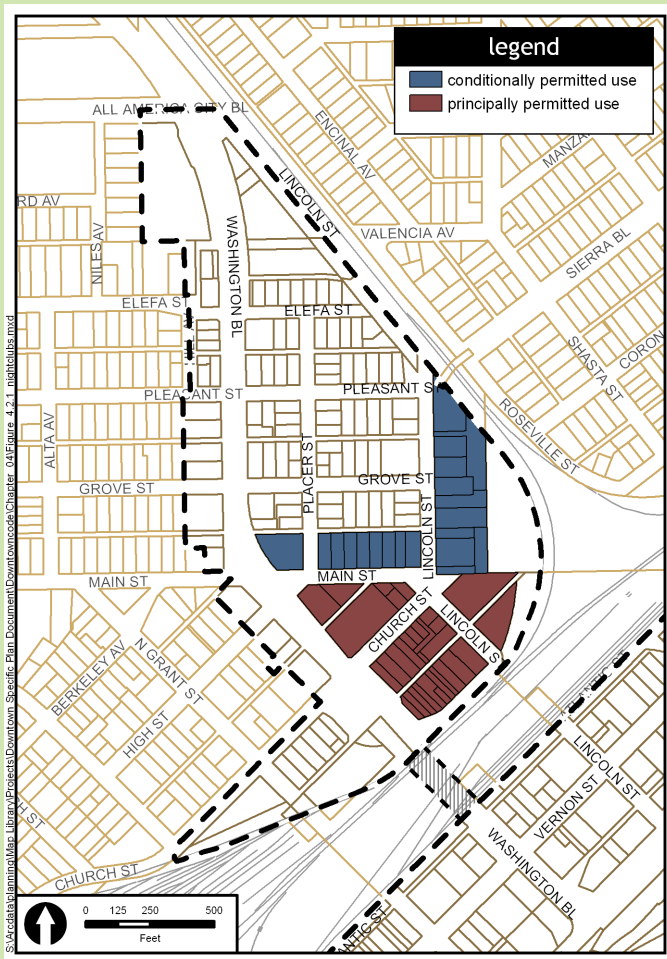


# 4.0 District Standards Quick Reference Guide

## 4.4.2 Old Town Commercial District Development Standards

### C. Special Provisions

1. Main Street and Church Street are retail frontage streets. Special design considerations have been provided for this type of street in Chapter 5.
2. South of Main Street, Nightclubs are principally permitted. North of Main Street and east of Lincoln Street, nightclubs are conditionally permitted. See Figure 4.21.
3. New development fronting onto Main Street shall provide 80% of the ground floor space as retail, restaurant, personal service or entertainment use, and 20% can be occupied by office.
4. A maximum of 10,000 square feet of single use ground floor retail/office can be developed; anything above this requires a conditional use permit.
5. Future development of 400-428 Lincoln Street shall provide a gathering space or plaza area as represented in the concept plan for the Historic Old Town..
6. 120 Pacific and 127-133 Church Street are a catalyst site. The design for these properties has been developed as a Pre-Design and is addressed in Chapter 9.



Pre-Designs - 120 Pacific/127-133 Church Street



Figure 4.2.1

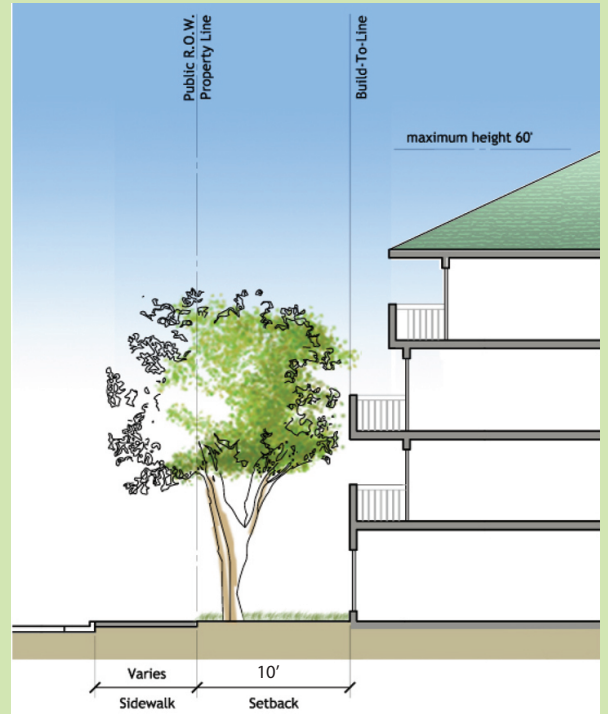
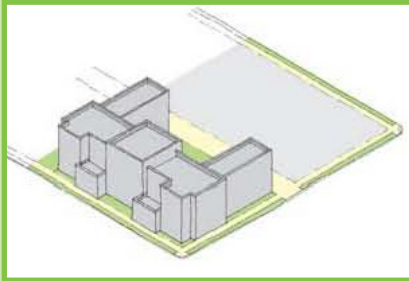
# 4.0 District Standards Quick Reference Guide

## 4.4.2 Old Town Commercial District Development Standards

### D. Acceptable Development Types - cont.

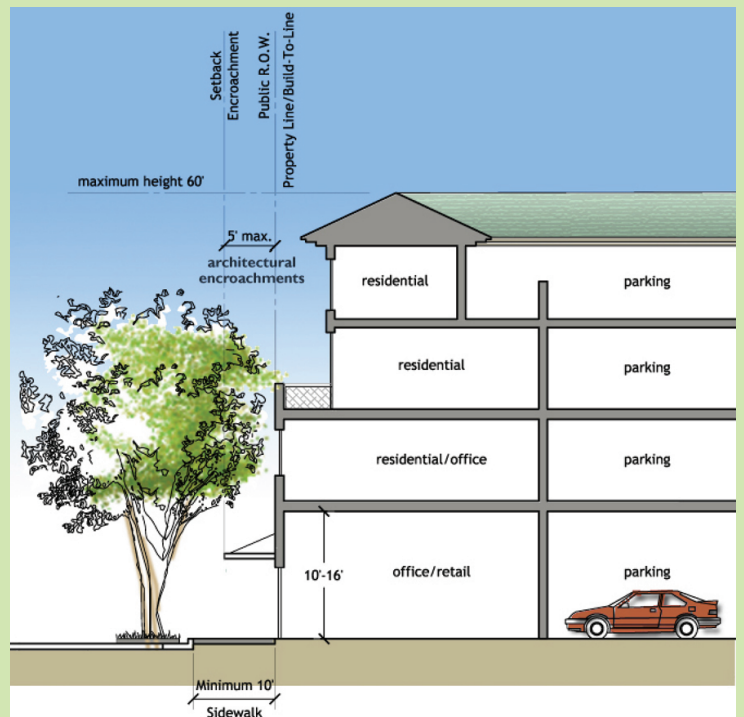
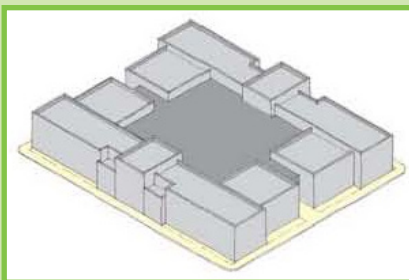
#### TERRACE

A terraced building type consists of flats over flats or townhouses over flats.



#### FULL-BLOCK LINER COMMERCIAL

In the Old Town Commercial and Vernon Street Districts, full-block liner buildings consist of commercial and residential uses wrapped around a parking structure.



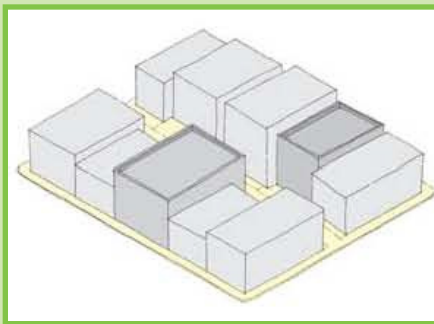
## 4.0 District Standards Quick Reference Guide

### 4.4.2 Old Town Commercial District Development Standards

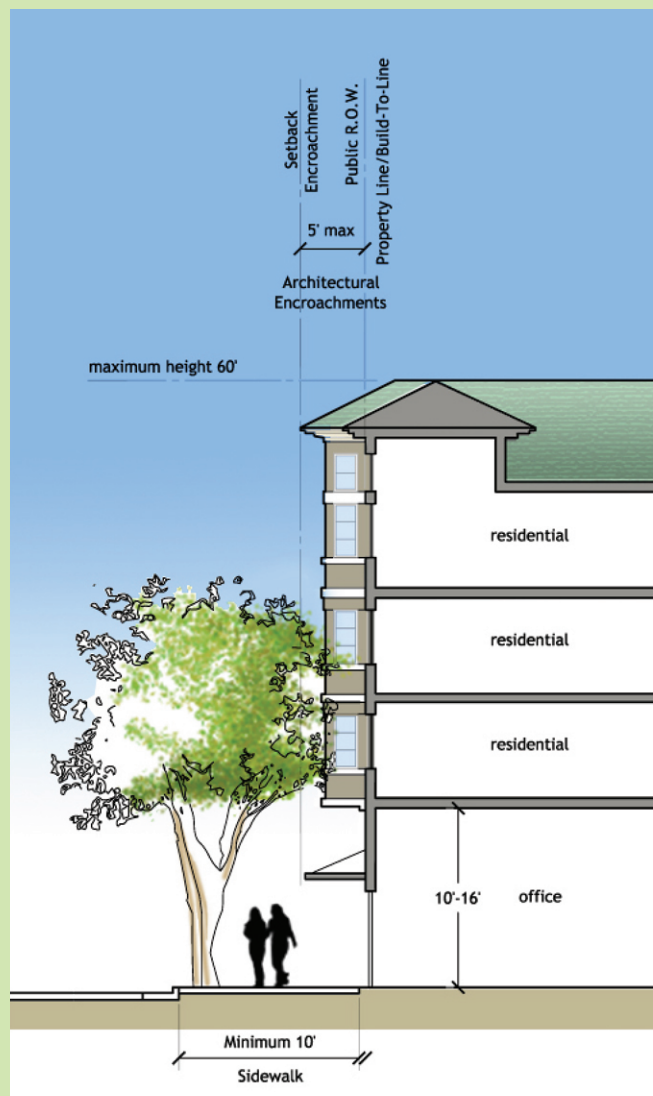
#### D. Acceptable Development Types - cont.

##### INFILL COMMERCIAL

These buildings are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices or residences.



*Residential over commercial is strongly encouraged*



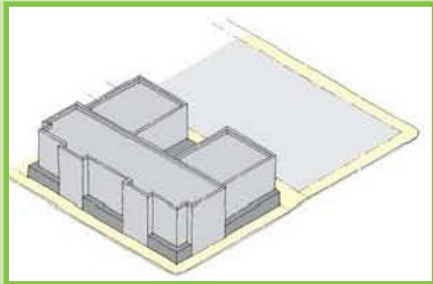
# 4.0 District Standards Quick Reference Guide

## 4.4.2 Old Town Commercial District Development Standards

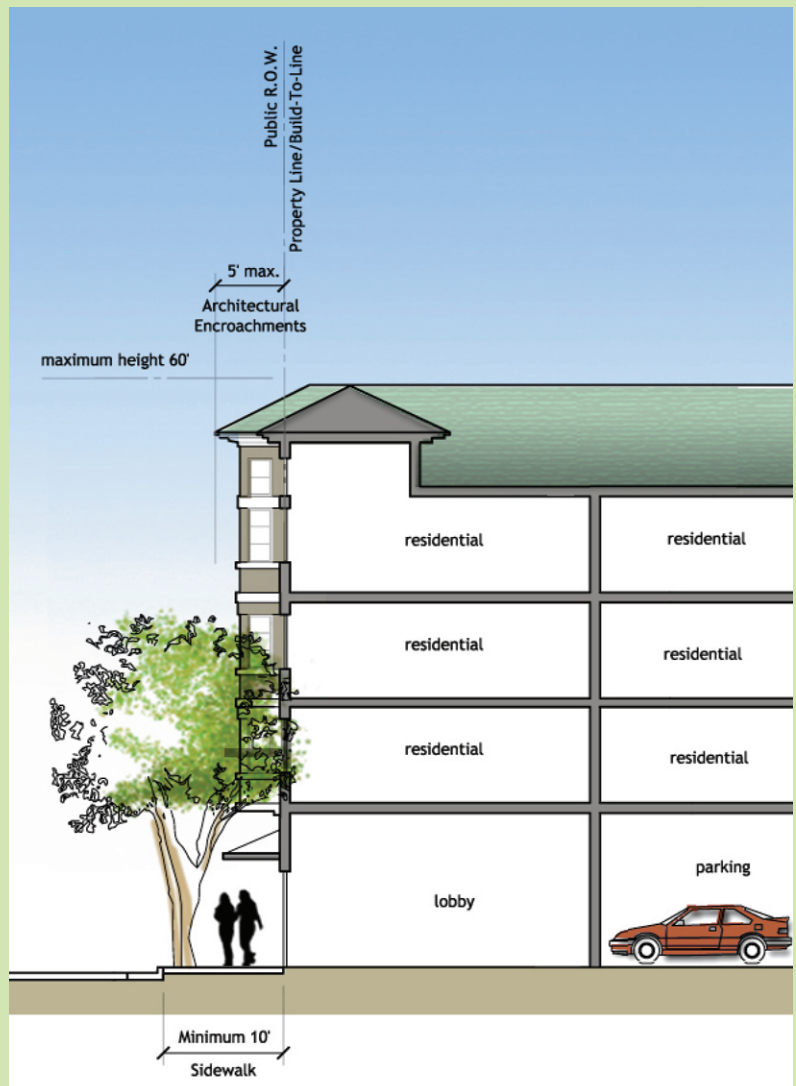
### D. Acceptable Development Types

#### PODIUM

A podium building type contains residential units above a ground floor parking garage.



*Podium parking allows for a higher FAR of development*



## 4.0 District Standards Quick Reference Guide

### 4.4.2 Old Town Commercial District Development Standards

#### E. Permitted Sign Types



*Alleyway*



*Projecting*



*Sidewalk Sign*



*Over Canopy*



*Awning*



*Under Canopy*



*Ghost*



*Back Door*



*Vertical Blade*



*Vertical Marquee*



*Wall*



*Inlaid Floor*



*Menu Board*



*Programmable Electronic*



*Window*

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.4.2 Old Town Commercial District Development Standards

#### **F Streetscapes**

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

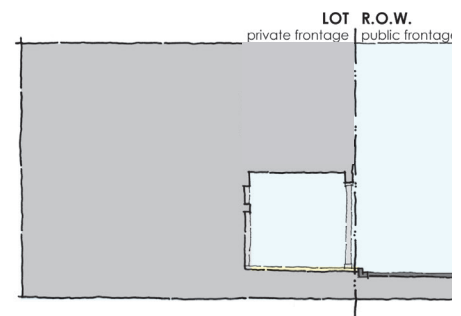
#### **Commercial Streetscapes**

##### **Arcade**

The Arcade (Commercial) frontage type consists of a series of arches supported by columns, piers, or pillars. The arcade is contained underneath an upper floor.

##### **Standards:**

- *Minimum width of 12 feet in all directions;*
- *At least 75% of the ground floor arcade shall open to the storefront;*
- *Arcade openings shall correspond with storefront openings.*



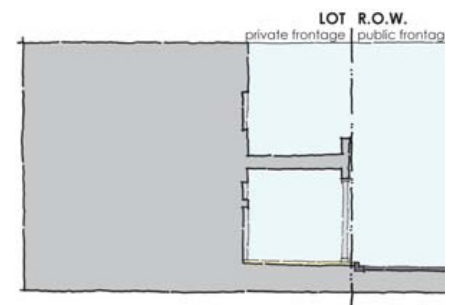
Arcade

##### **Gallery**

The Gallery (Commercial) frontage type is similar to the arcade frontage, but, unlike an arcade, the covered promenade extends beyond the exterior wall of a building. This type of commercial frontage is typically employed when exposure to the elements is a concern.

##### **Standards:**

- *Minimum width of 12 feet in all directions;*
- *At least 75% of the ground floor gallery shall open to the storefront;*
- *Gallery openings shall correspond with storefront openings.*



Gallery



## 4.0 District Standards Quick Reference Guide

### 4.4.2 Old Town Commercial District Development Standards

#### F Streetscapes - cont.

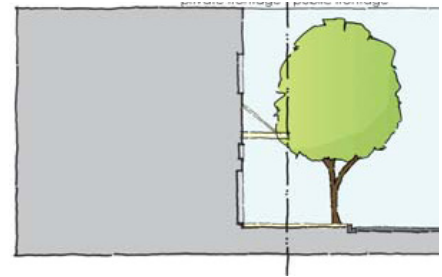
### Commercial Streetscapes

#### Storefront and Awning

The Storefront and Awning (Commercial) frontage type describes a commercial façade placed at or near the “build-to” front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

#### Standards:

- *Maximum height of a storefront should be between 12 and 16 feet, but shall not be less than 10 feet;*
- *The storefront shall contain at least 65% clear glass;*
- *In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible,*
- *Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.*



Storefront & Awning

## 4.0 District Standards Quick Reference Guide

### 4.5 Old Town Commercial (Extension) District (DT-5)

The Old Town Commercial (Extension) District is comprised of the district formerly designated as Light Industrial zoned property. The **Downtown Code** provides development standards and design criteria for the Old Town Commercial (Extension) District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	0
*Projected New Units	0
<b>Total Projected Units</b>	<b>0</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	0
**Projected New SQFT	7,873
<b>Total Projected SQFT</b>	<b>7,873</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** IND

**Zoning:** M-1/SA-DT

**Net Acres:** 2.41

#### Encouraged Principally Permitted Uses in the Old Town Commercial (Extension) District

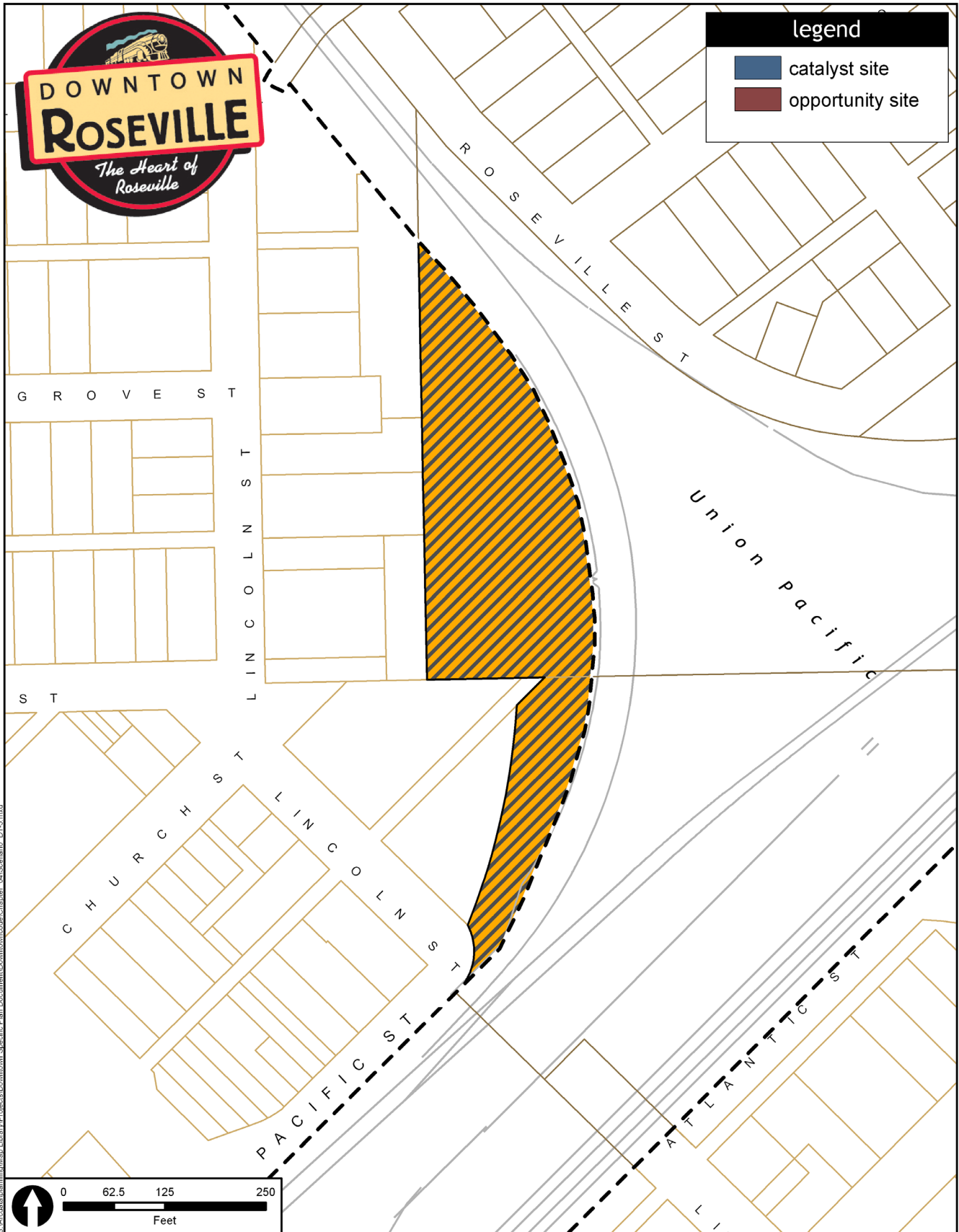
- *Mixed use*
- *Retail*
- *Restaurants*
- *Entertainment*
- *Offices*
- *Commercial or public parking*

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.5.1 - 20 yr Build-Out Scenario - Old Town Commercial (Extension) (DT-5)



# 4.0 District Standards Quick Reference Guide

## 4.5.2 Old Town Commercial (Extension) District Development Standards

### A. Setbacks, Height and Intensity

- 1) **Build to line:** 0 -10 feet
  - Front Setback Encroachment:** 6 feet for steps and porches
  - Side Setback:** 0 feet
  - Rear Setback:** 0 feet
- 2) **Maximum Height:** Four Story (60')
- 2)\* **Minimum FAR:** 2.00
- Maximum FAR:** 4.00
- Minimum Density:** Residential has been precluded due to industrial designation
- Maximum Density:** 0
- Lot Area:** Defined by development design

### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Behind building, parking structure, subterranean, or fee in-lieu of on-site parking

**Commercial/Office:** 1/500 sq. ft.

**Industrial Users:** 1/1000 sq. ft. where other users exceed 10% of the gross floor area the requirement shall be the sum total for each use.

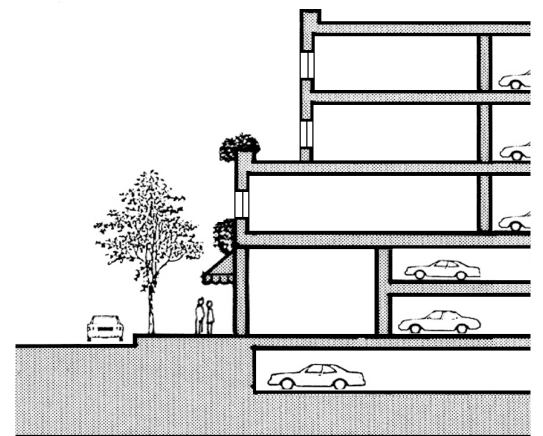
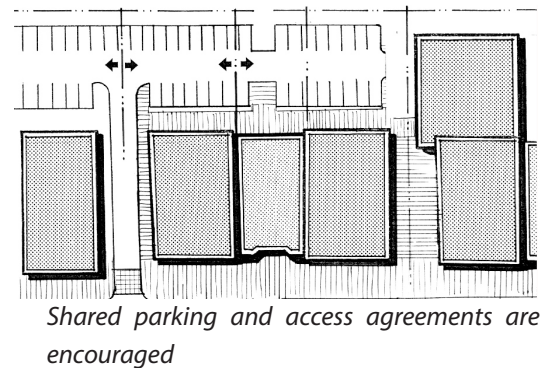
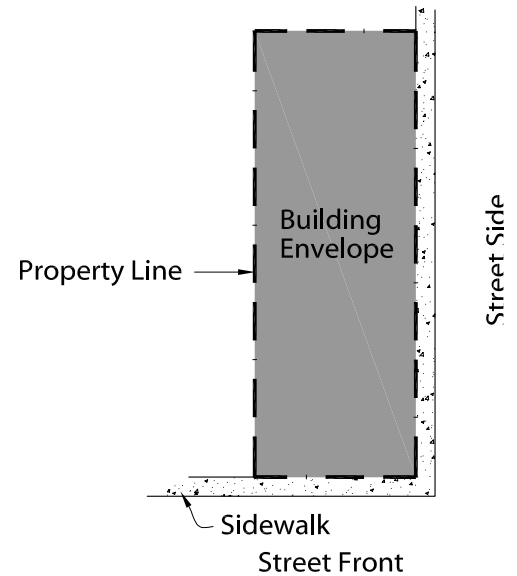
**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

**Notes:**

1) *Build to line is the maximum distance a building should be setback from the front property line. The intent is to front buildings directly on the adjacent sidewalk (refer to Chapter 5-5.3.1).*

2) *Refer to incentives in Chapter 3 regarding height and floor area ratio*



## 4.0 District Standards Quick Reference Guide

### 4.5.2 Old Town Commercial (Extension) District Development Standards

#### C. Special Provisions

1. A maximum of 10,000 square feet of single use ground floor retail/office can be developed; anything above this requires a conditional use permit.



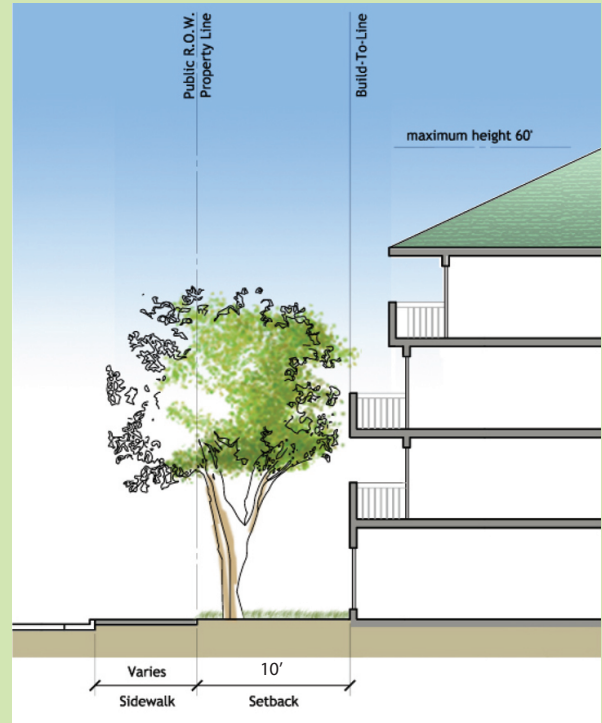
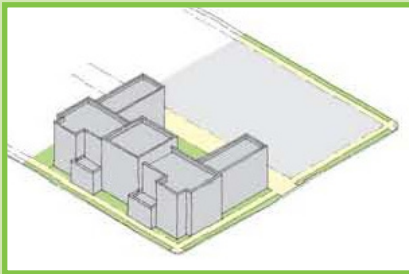
# 4.0 District Standards Quick Reference Guide

## 4.5.2 Old Town Commercial (Extension) District Development Standards

### D. Acceptable Development Types - cont.

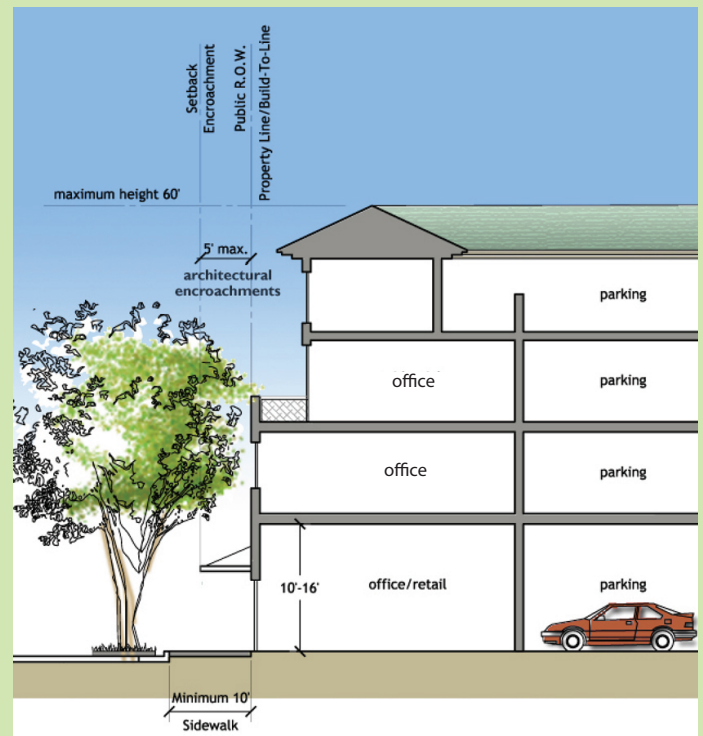
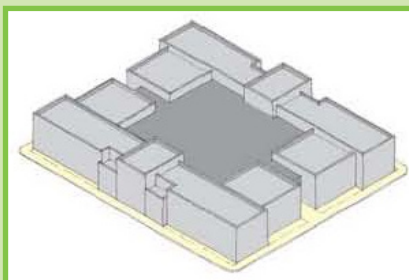
#### TERRACE

A terraced building type consists of staggered floor levels.



#### FULL-BLOCK LINER COMMERCIAL

In the Old Town Commercial Extension district, full-block liner buildings consist of commercial and light industrial uses wrapped around a parking structure.



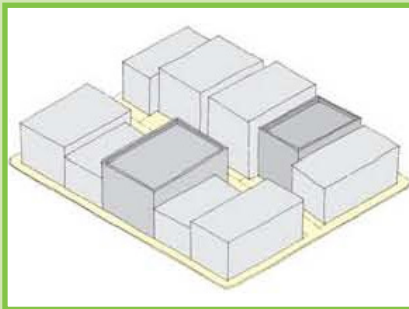
## 4.0 District Standards Quick Reference Guide

### 4.5.2 Old Town Commercial (Extension) District Development Standards

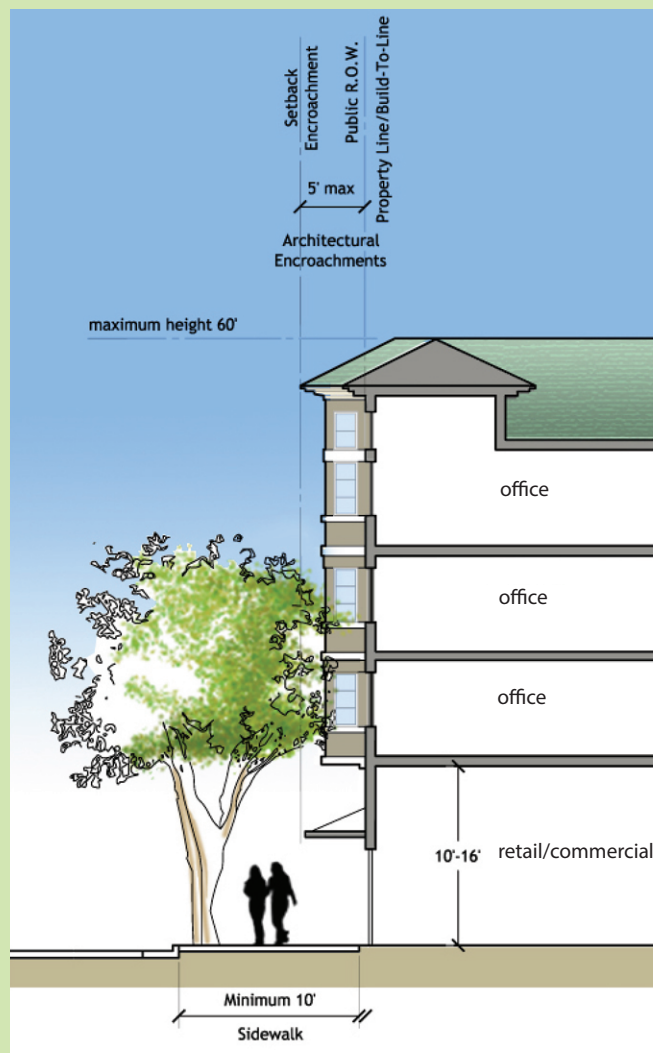
#### D. Acceptable Development Types - cont.

##### INFILL COMMERCIAL

These buildings are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices.



*Office over commercial is strongly encouraged*



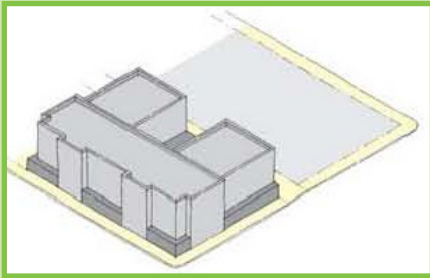
# 4.0 District Standards Quick Reference Guide

## 4.5.2 Old Town Commercial (Extension) District Development Standards

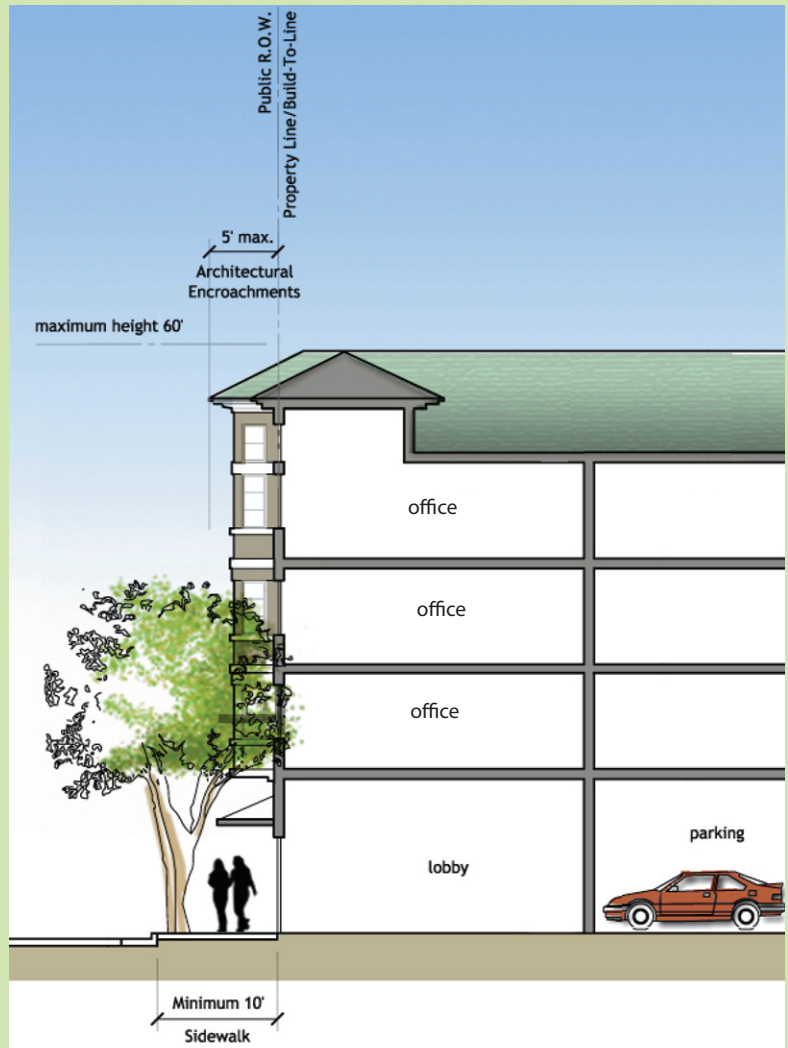
### D. Acceptable Development Types

#### PODIUM

A podium building type in this district contains office units above a ground floor parking garage.



*Podium parking allows for a higher FAR of development*



# 4.0 District Standards Quick Reference Guide

## 4.5.2 Old Town Commercial (Extension) District Development Standards

### E. Permitted Sign Types



Alleyway



Ghost



Awning



Projecting



Window



Back Door



Wall



Inlaid Floor



Over Canopy



Menu Board



Under Canopy



Vertical Blade

Vertical Marguee

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.5.2 Old Town Commercial (Extension) District Development Standards

#### F. Streetscapes

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms

#### Commercial Streetscapes

##### Arcade

The Arcade (Commercial) frontage type consists of a series of arches supported by columns, piers, or pillars. The arcade is contained underneath an upper floor.

##### Standards:

- Minimum width of 12 feet in all directions;
- At least 75% of the ground floor arcade shall open to the storefront;
- Arcade openings shall correspond with storefront openings.

##### Gallery

The Gallery (Commercial) frontage type is similar to the arcade frontage, but, unlike an arcade, the covered promenade extends beyond the exterior wall of a building. This type of commercial frontage is typically employed when exposure to the elements is a concern.

##### Standards:

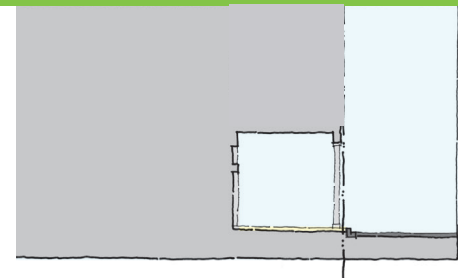
- Minimum width of 12 feet in all directions;
- At least 75% of the ground floor gallery shall open to the storefront;
- Gallery openings shall correspond with storefront openings.

##### Storefront and Awning

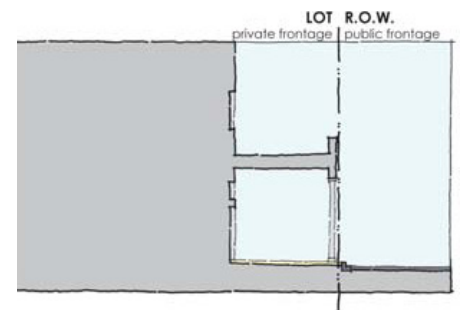
The Storefront and Awning (Commercial) frontage type describes a commercial façade placed at or near the “build-to” front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

##### Standards:

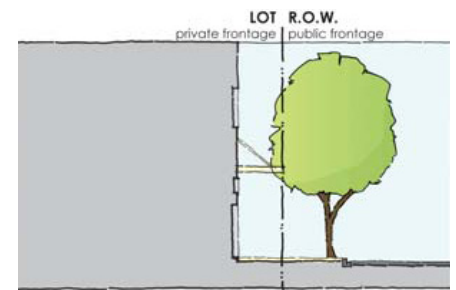
- Maximum height of a storefront should be between 12 and 16 feet, but shall not be less than 10 feet;
- The storefront shall contain at least 65% clear glass;
- In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible,
- Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.



Arcade



Gallery



Storefront & Awning

## 4.0 District Standards Quick Reference Guide

### 4.6 Vernon Street District (DT-6)

The Vernon Street District is comprised of the districts formerly designated Central Business District (CBD), General Commercial (GC), and Community Commercial (CC). The **Downtown Code** provides development standards and design criteria for the Vernon Street District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	16
*Projected New Units	332
<b>Total Projected Units</b>	<b>348</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	399,973
**Projected New SQFT	1,277,610
<b>Total Projected SQFT</b>	<b>1,677,583</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** CBD

**Zoning:** CBD/SA-DT

**Net Acres:** 24.07

#### Principally Permitted Uses in the Vernon Street District

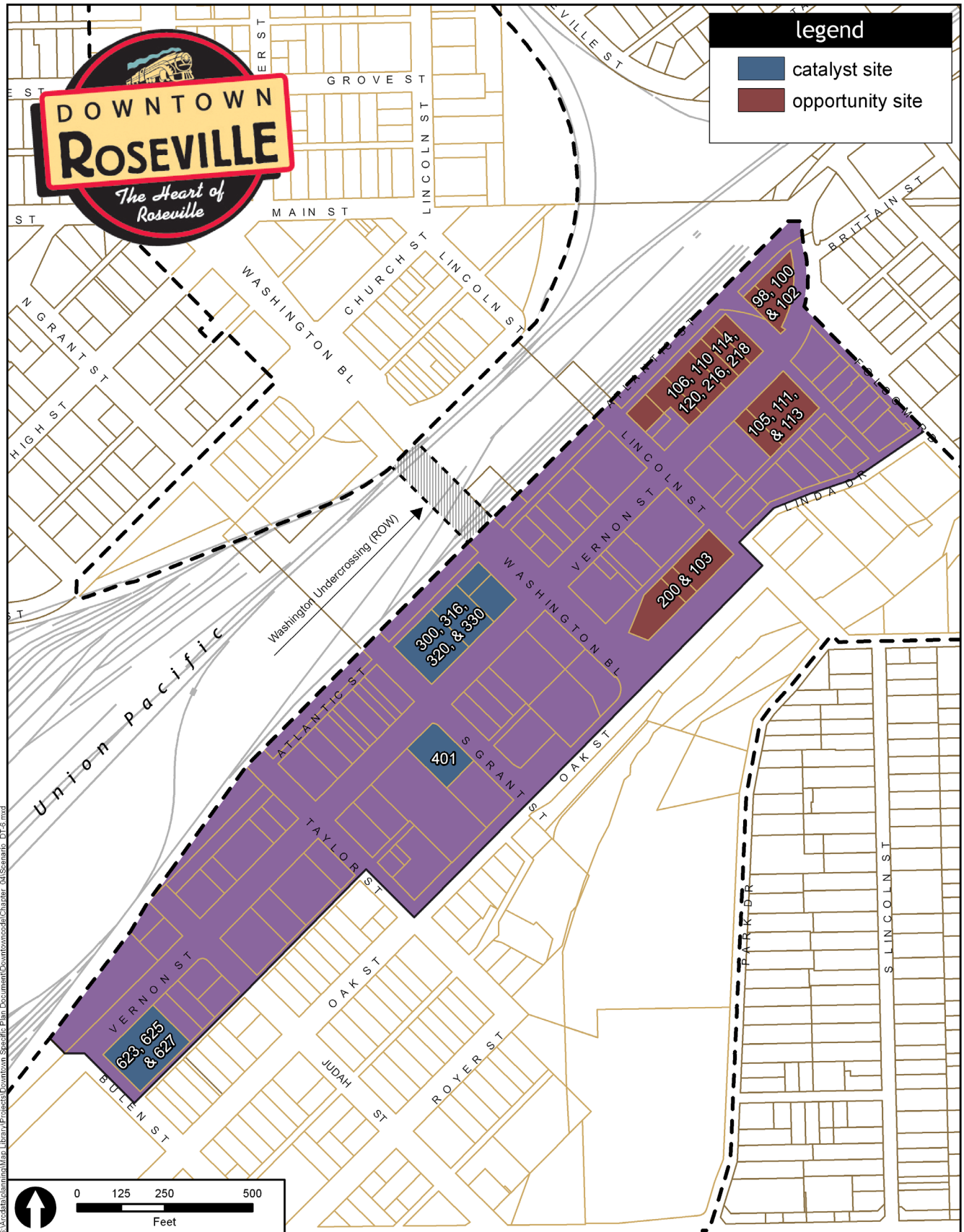
- Mixed use
- Retail
- Restaurants
- Entertainment
- Offices
- Public/Quasi-public
- Multi-family residential (southeast of Taylor Street and northwest of Lincoln Street)

For a full list of principally and conditionally permitted uses, please refer to Chapter 2



# 4.0 District Standards Quick Reference Guide

## 4.6.1 - 20 yr Build-Out Scenario - Vernon Street District (DT-6)



## 4.0 District Standards Quick Reference Guide

### 4.6.2 Vernon Street District Development Standards

#### A. Setbacks, Height and Intensity

- 1) **Build to line:** 0 - 10 feet
- Side Setback:** 0 feet
- Rear Setback:** 0 feet
- 2) **Maximum Height:** Five Story (75 feet)
- 2) **Minimum FAR:** 2.00
- Maximum FAR:** 4.00
- Minimum Density:** 20 units/acre
- Maximum Density:** As determined by the Floor Area Ratio (FAR) or 36 units, whichever is greater
- Lot Area:** Defined by development design

#### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Behind building, parking structure, subterranean, or fee in-lieu of on-site parking

**Commercial/Office:** 1/500 sq. ft. (parking requirements waived for restaurants)

**Nightclubs:** 1 per 500 SF

**Residential:**

- Studio or 1 bedroom = 1/unit
- 2+ bedroom = 1.5/unit
- Projects with 10+ residential units will provide 1 guest space/every 10 units

**Mixed Use:** Sum of Commercial and Residential requirements

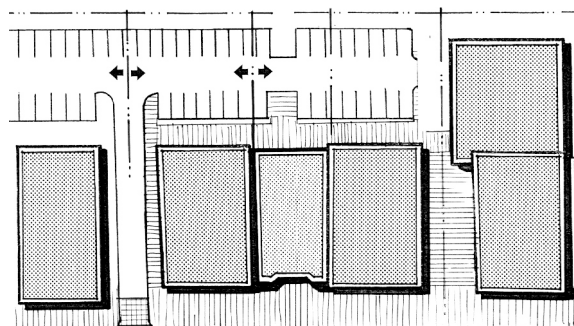
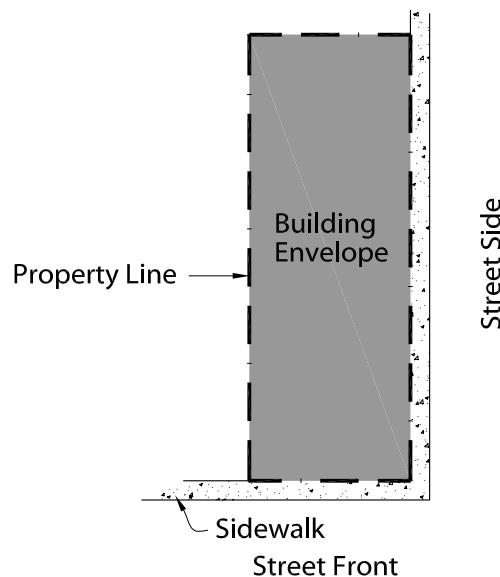
**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

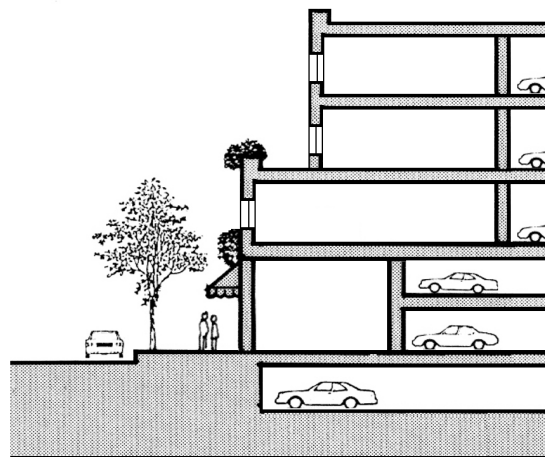
**Notes:**

1) *Build to line is the maximum distance a building should be setback from the front property line. The intent is to front buildings directly on the adjacent sidewalk (refer to Chapter 5-5.3.1).*

2) *Refer to incentives in Chapter 3 regarding height and floor area ratio*



*Shared parking and access agreements are encouraged*



*Structural and subterranean parking are encouraged*

## 4.0 District Standards Quick Reference Guide

### 4.6.2 Vernon Street District Development Standards

#### C. Special Provisions

1. New development fronting onto Vernon Street shall provide (and new tenants and tenant improvements in existing buildings shall maintain) 80% of the ground floor space as non-residential use.
2. Multi-family residential is not permitted between Taylor Street and Lincoln Street.
3. Multi-family residential at a minimum of 36 units per acre is allowed with approval of a conditional use permit in the area extending from Bulen Street to Taylor Street on the southern end of the District, and from Lincoln Street to Folsom Road on the northern end of the District..
4. A maximum of 10,000 square feet of single use ground floor retail/office can be developed as an individual use, anything above this requires a conditional use permit.
5. The following sites have been designated as catalyst sites:
  - 300-330 Vernon Street
  - 401 Vernon Street
  - 623-627 Vernon Street

The design for these properties has been developed as pre-design concepts and are addressed in Chapter 9.



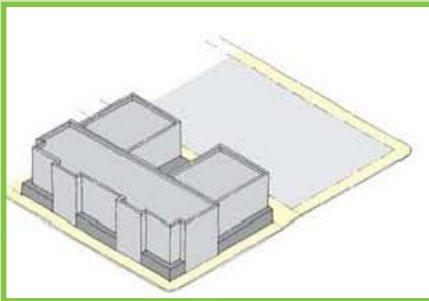
## 4.0 District Standards Quick Reference Guide

### 4.6.2 Vernon Street District Development Standards

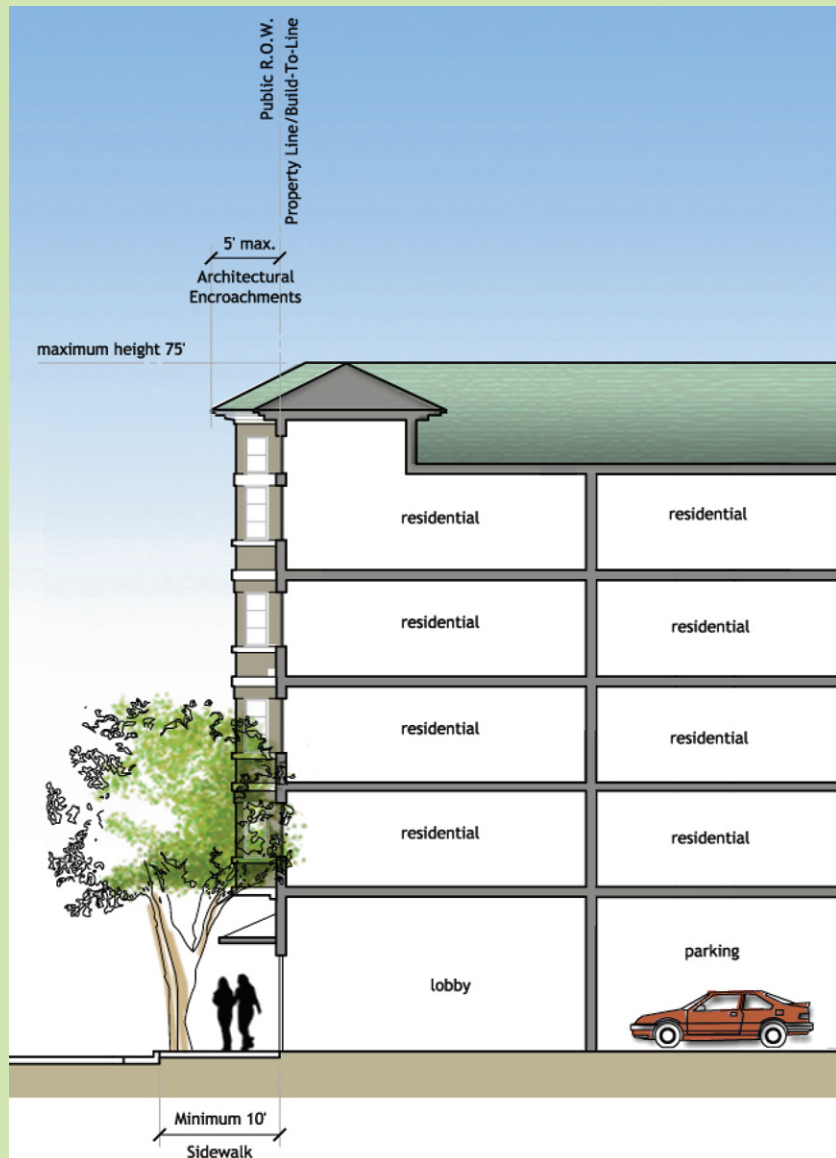
#### D. Acceptable Development Types

##### PODIUM

A podium building type contains residential units above a ground floor parking garage.



*Podium parking allows for a higher FAR of development*



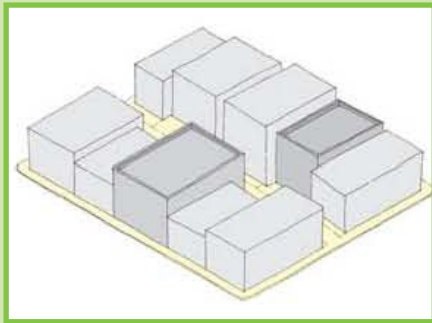
# 4.0 District Standards Quick Reference Guide

## 4.6.2 Vernon Street District Development Standards

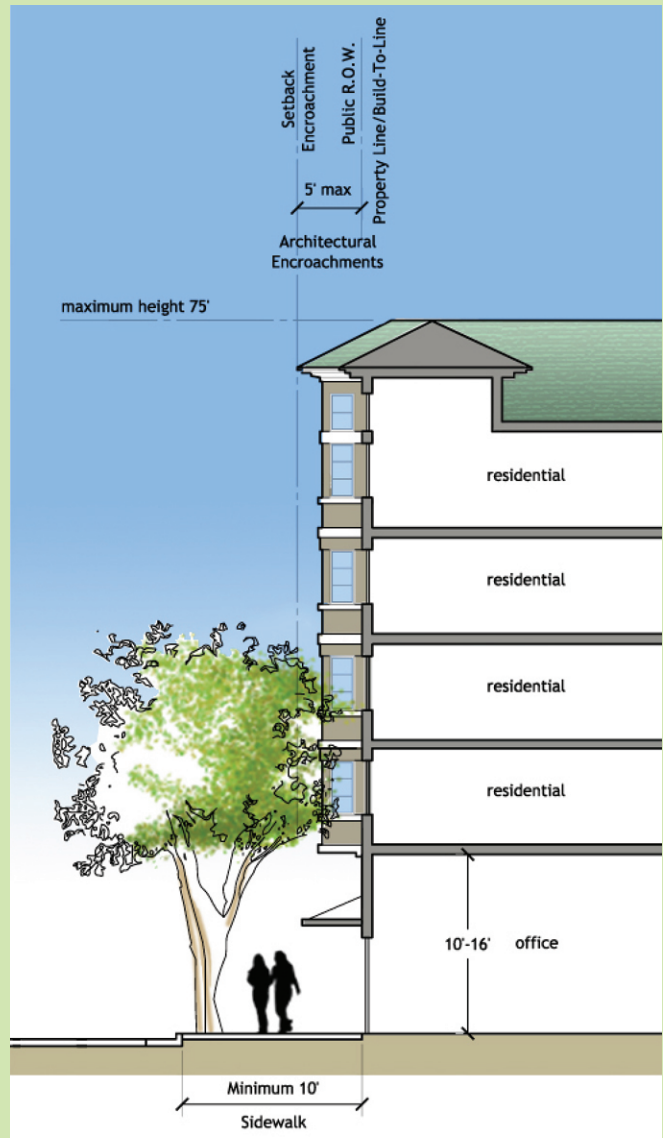
### D. Acceptable Development Types - cont.

#### INFILL COMMERCIAL

These buildings are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices or residences.



*Residential over commercial is strongly encouraged*



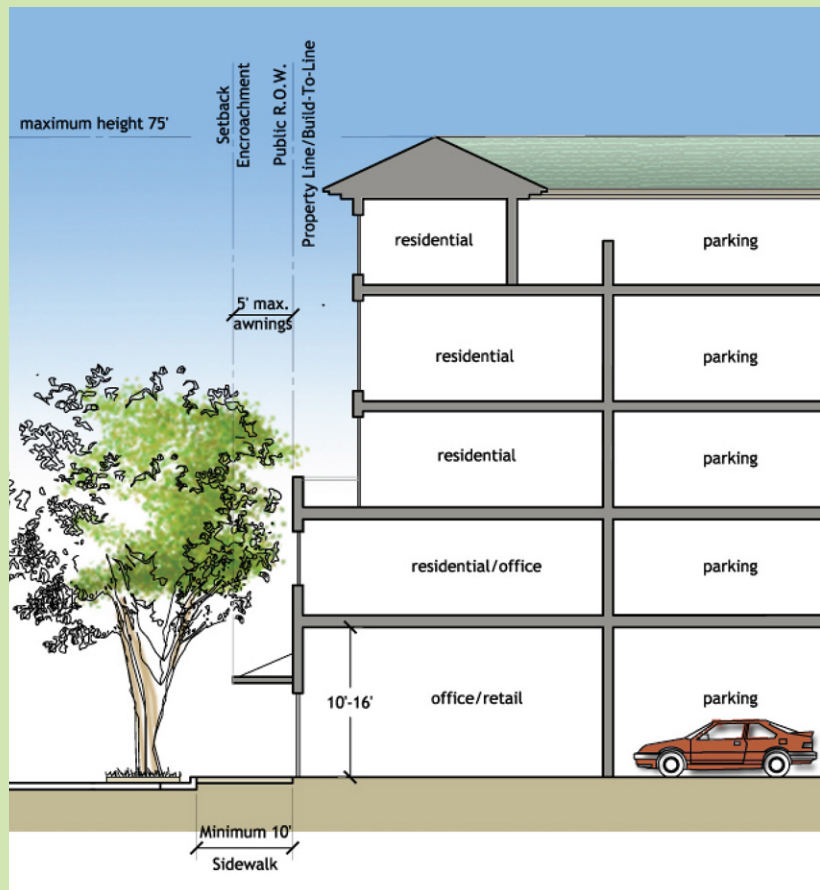
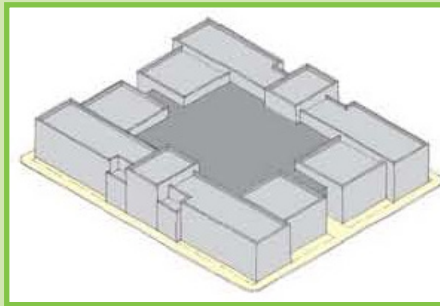
## 4.0 District Standards Quick Reference Guide

### 4.6.2 Vernon Street District Development Standards

#### D. Acceptable Development Types - cont.

##### FULL-BLOCK LINER COMMERCIAL

In the Old Town Commercial and Vernon Street Districts, full-block liner buildings consist of commercial and residential uses wrapped around a parking structure.



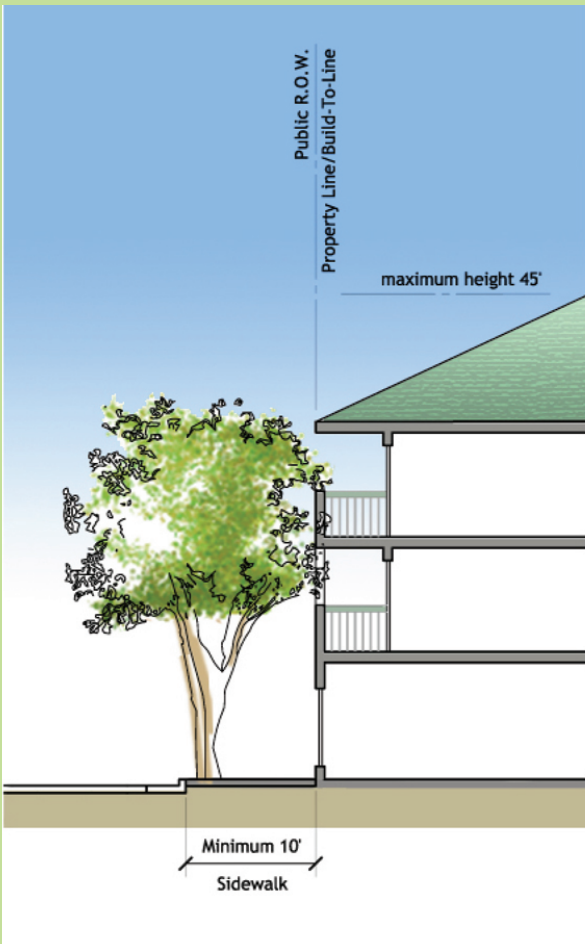
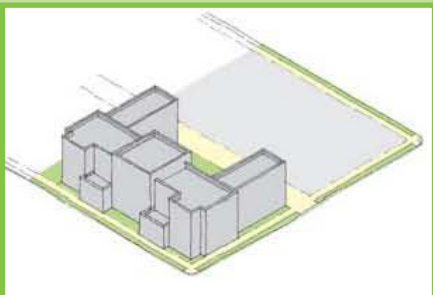
# 4.0 District Standards Quick Reference Guide

## 4.6.2 Vernon Street District Development Standards

### D. Acceptable Development Types - cont.

#### TERRACE

A terraced building type consists of flats over flats or townhouses over flats.



## 4.0 District Standards Quick Reference Guide

### 4.6.2 Vernon Street District Development Standards

#### D. Permitted Sign Types



Alleyway



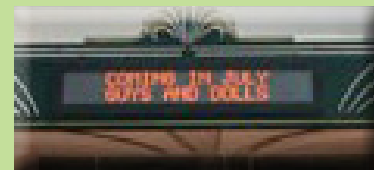
Projecting



Sidewalk Sign



Awning



Programmable Electronic



Back Door



Wall



Vertical Blade



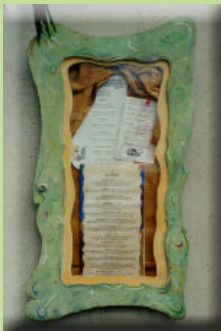
Vertical Marquee



Inlaid Floor



Window



Menu Board



Under Canopy



Over Canopy

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.6.2 Vernon Street District Development Standards

#### **E. Streetscapes**

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

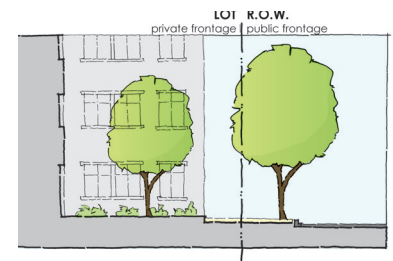
#### **Residential Streetscapes**

##### **Forecourt**

In a **Forecourt (Residential)** frontage type, the majority of the façade is aligned close to the frontage line while a portion is setback to form a courtyard.

##### **Standards:**

- *Maximum depth of 35 feet;*
- *Maximum courtyard elevation of 40 inches;*
- *Fences or walls at the property line are prohibited.*



Forecourt

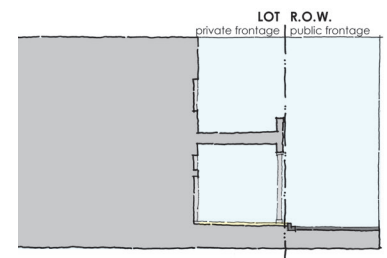
#### **Commercial Streetscapes**

##### **Arcade**

The Arcade frontage type consists of a series of arches supported by columns, piers, or pillars. The arcade is contained underneath an upper floor.

##### **Standards:**

- *Minimum width of 12 feet in all directions;*
- *At least 75% of the ground floor arcade shall open to the storefront;*
- *Arcade openings shall correspond with storefront openings.*



Arcade



## 4.0 District Standards Quick Reference Guide

### 4.6.2 Vernon Street District Development Standards

#### E. Streetscapes (cont.)

#### Commercial Streetscapes cont.

##### Gallery

The **Gallery** frontage type is similar to the arcade frontage, but, unlike an arcade, the covered promenade extends beyond the exterior wall of a building. This type of commercial frontage is typically employed when exposure to the elements is a concern.

##### Standards:

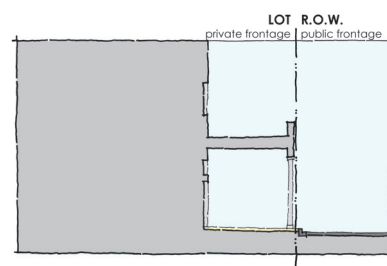
- Minimum width of 12 feet in all directions;
- At least 75% of the ground floor gallery shall open to the storefront;
- Gallery openings shall correspond with storefront openings.

##### Storefront and Awning

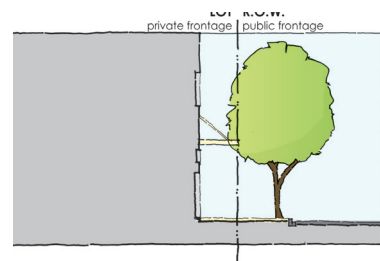
The **Storefront and Awning (Commercial)** frontage type describes a commercial façade placed at or near the “build-to” front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

##### Standards:

- Maximum height of a storefront should be between 12 and 16 feet, but shall not be less than 10 feet;
- The storefront shall contain at least 65% clear glass;
- In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible,
- Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.



Gallery

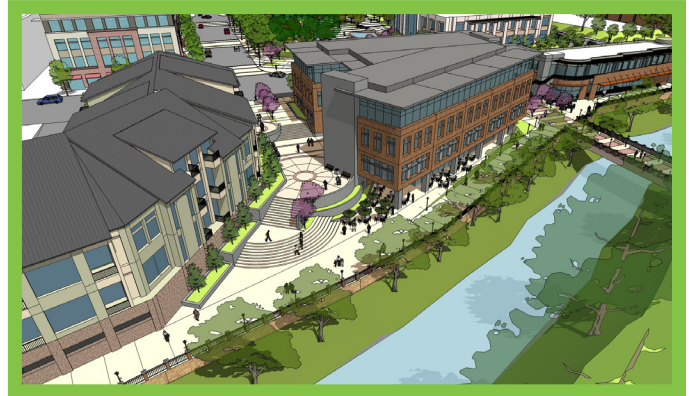


Storefront & Awning

## 4.0 District Standards Quick Reference Guide

### 4.7 Dry Creek Mixed-Use District (DT-7)

The Dry Creek Mixed-Use District is comprised of the districts formerly designated Community Commercial (CC) and Floodway Fringe (FF). This Specific Plan provides development standards and design criteria for the Dry Creek Mixed-Use District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	21
*Projected New Units	282
<b>Total Projected Units</b>	<b>303</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	97,177
**Projected New SQFT	1,202,697
<b>Total Projected SQFT</b>	<b>1,299,874</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** CC

**Zoning:** CMU/SA-DT,  
CMU/FF/SA-DT

**Net Acres:** 12.18

#### Encouraged Principally Permitted Uses in the Dry Creek Mixed-Use District

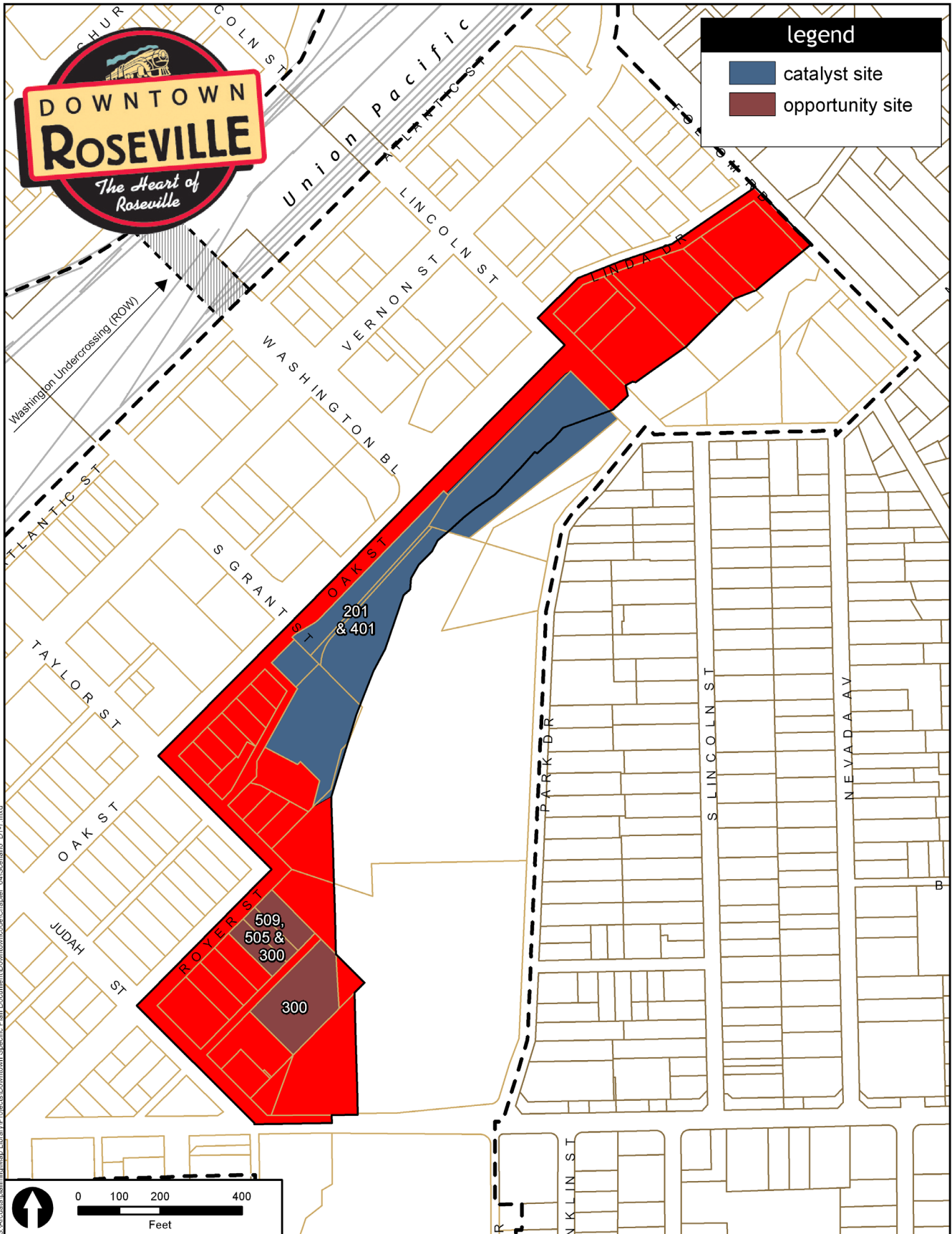
- *Mixed use*
- *Retail*
- *Restaurants*
- *Public/quasi-public*
- *Offices*
- *Multi-family residential*
- *Live/work space*
- *Public market*

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.7.1 - 20 yr Build-Out Scenario - Dry Creek Mixed Use District (DT-7)



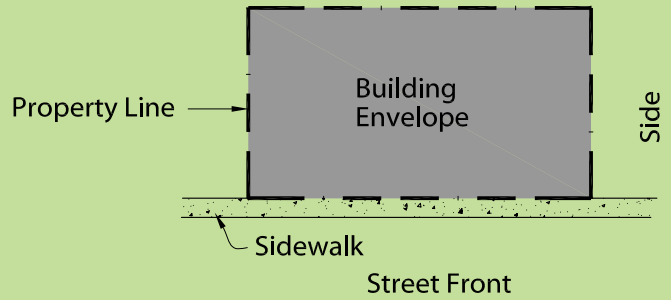
S:\Arcdata\blm\map\Map\_Library\Projects\Downtown\Specific Plan Document\Downbound\Chapter\_04\Scenario\_DT-7.mxd

# 4.0 District Standards Quick Reference Guide

## 4.7.2 Dry Creek Mixed Use District Development Standards

### A. Setbacks, Height and Intensity

- 1) **Build to line:** 0 -10 feet
- Side Setback:** 0 feet
- Creek or Rear Setback:** 15 feet from the defined top of bank or 10 feet from the edge of the creek walk as approved by the Director.
  
- 2) **Maximum Height:** Four Story (60 feet)
- 2) **Minimum FAR:** 2.00
- Maximum FAR:** 3.50
- Minimum Density:** 20 units/acre
- Maximum Density:** As determined by Floor Area Ratio (FAR) or 40 units/acre, whichever is greater
  
- Lot Area:** Defined by development design



**Guest Parking:** Projects with 10 or more dwelling units shall provide 1 additional space for each 10 dwelling units or portion thereof

**Mixed Use:** Sum of Commercial and Residential requirements

**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

### B. Parking Summary Requirements

**Refer to Chapter 3 for full discussion of required parking**

**Locations:** Behind building, parking structure, subterranean, or fee in-lieu of on-site parking

**Commercial/Office:** 1/500 sq. ft. (parking requirements waived for restaurants)

#### Residential Parking:

- Studio or 1 bedroom = 1/unit
- 2+ bedroom = 1.5/unit
- Single-family =2/unit
- Duplex = 2/unit

Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

#### Notes:

1) *Build to line is the maximum distance a building should be setback from the front property line. The intent is to front buildings directly on the adjacent sidewalk (refer to Chapter 5-5.3.1).*

2) *Refer to incentives in Chapter 3 regarding height and floor area ratio*



## 4.0 District Standards Quick Reference Guide

### 4.7.2 Dry Creek Mixed Use District Development Standards

#### **C. Special Provisions**

1. 201 through 401 Oak Street is a catalyst site. The design for these properties has been developed as a pre-design concept and is addressed in detail in Chapter 9.

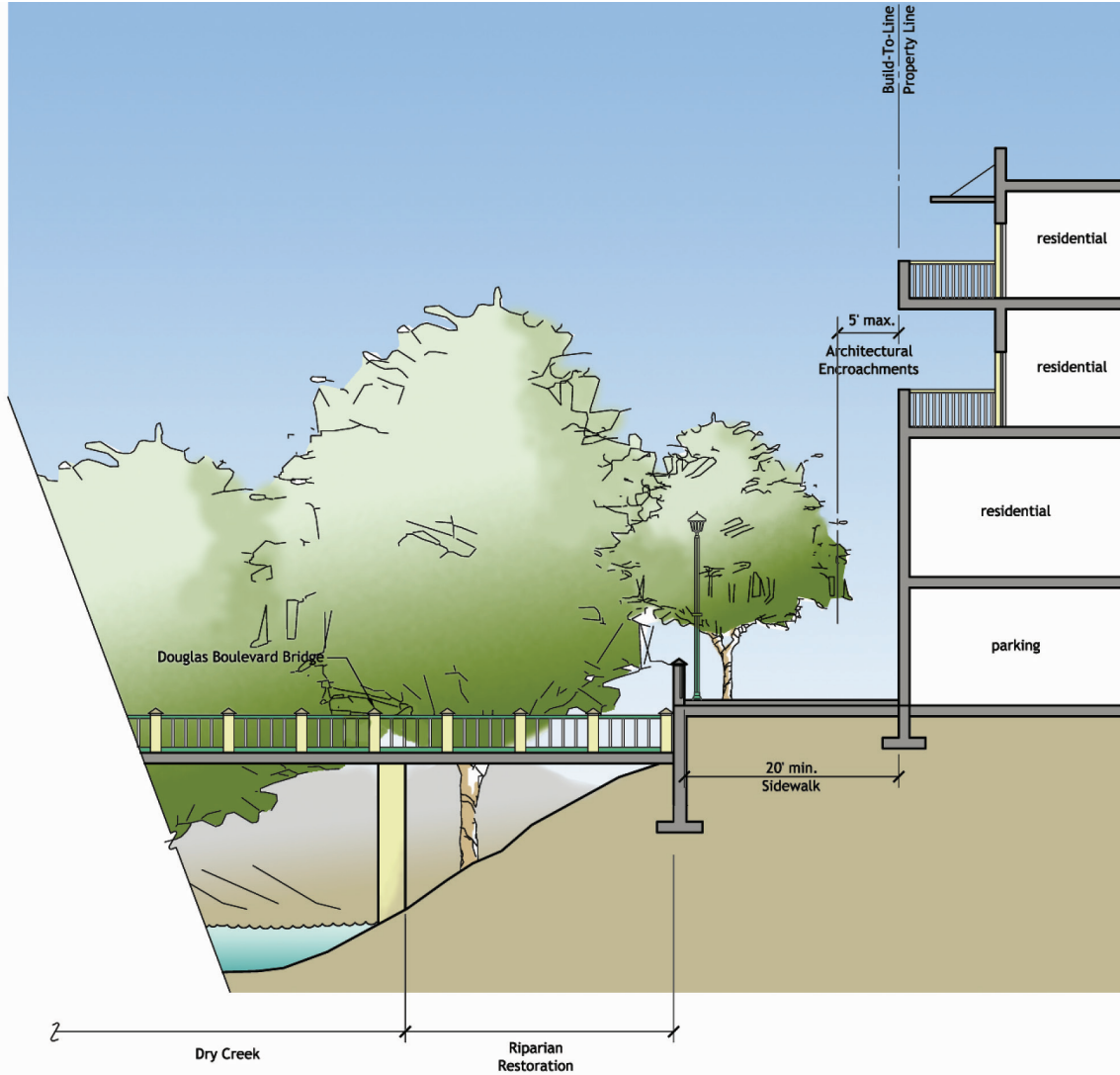


*Conceptual of Dry Creek catalyst site.*

# 4.0 District Standards Quick Reference Guide

## 4.7.2 Dry Creek Mixed Use District Development Standards

**Creek walk** - A minimum 20' foot wide walkway will be provided as the creek walk along the edge of Dry Creek. Buildings will be sited so that they are directly adjacent to the creek walk and have a build to line of 10 feet from the edge of the creek walk

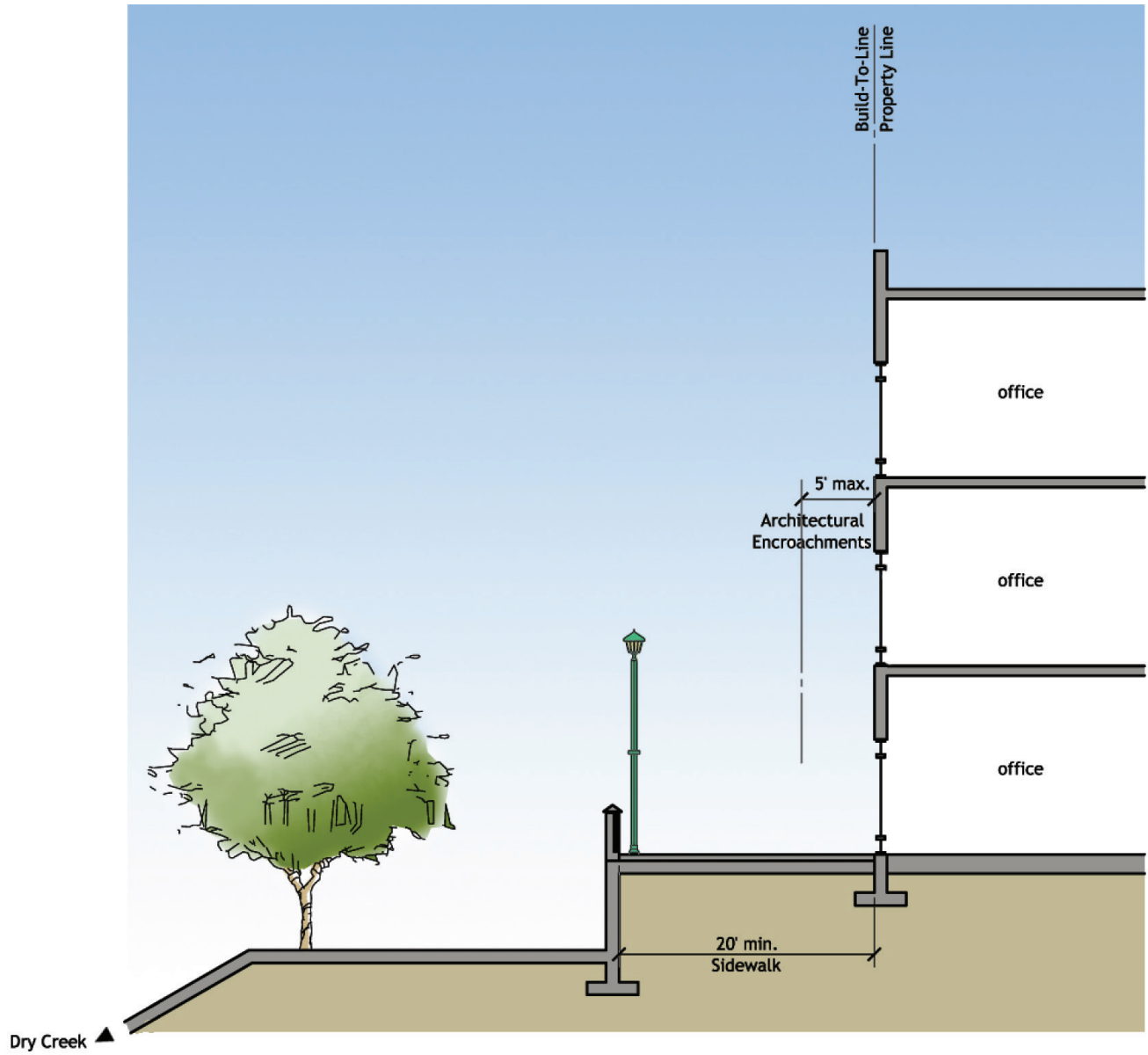


**Building A - Along Dry Creek Corridor**



# 4.0 District Standards Quick Reference Guide

## 4.7.2 Dry Creek Mixed Use District Development Standards

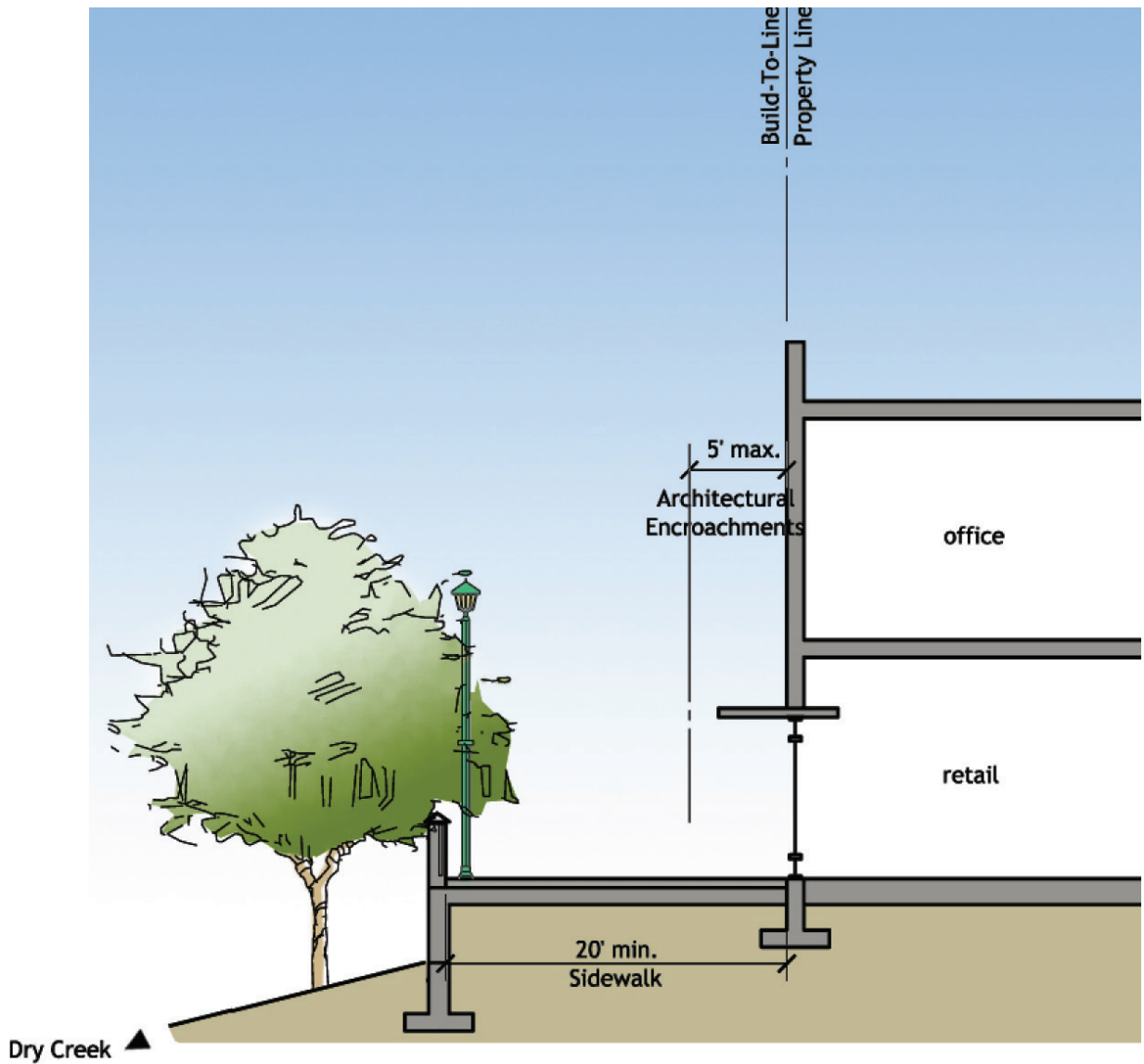


**Building B - Along Dry Creek Corridor**



# 4.0 District Standards Quick Reference Guide

## 4.7.2 Dry Creek Mixed Use District Development Standards



## 4.0 District Standards Quick Reference Guide

### 4.7.2 Dry Creek Mixed Use District Development Standards



**Building D - Along Dry Creek Corridor**



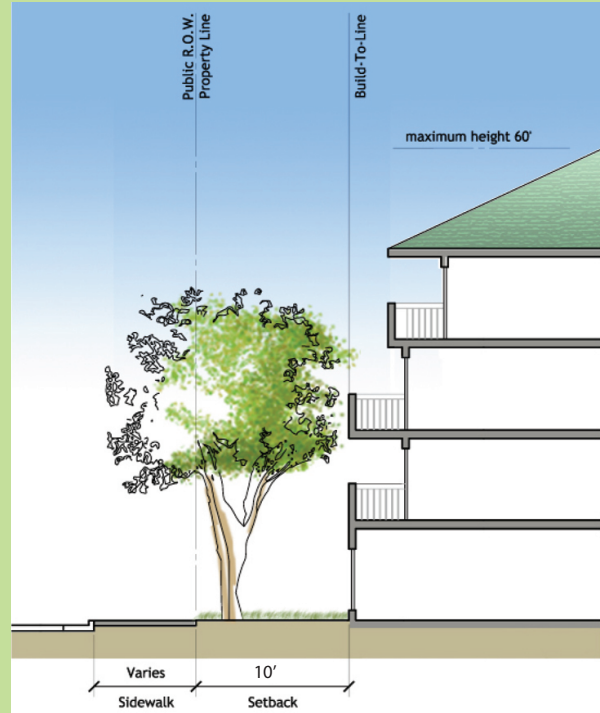
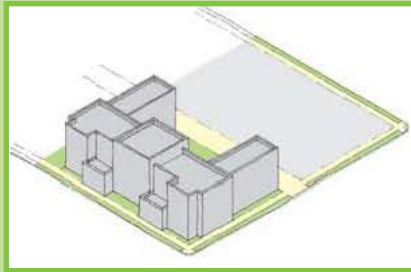
# 4.0 District Standards Quick Reference Guide

## 4.7.2 Dry Creek Mixed Use Development Standards

### D. Acceptable Development Types

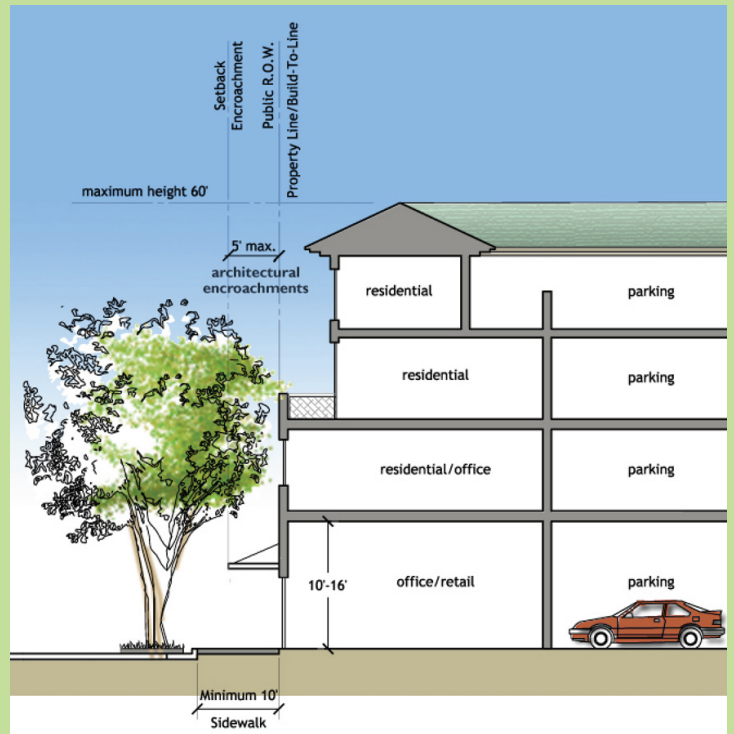
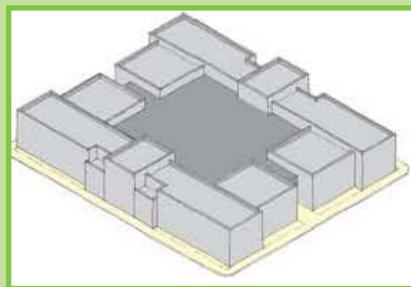
#### TERRACE

A terraced building type consists of flats over flats or townhouses over flats.



#### FULL-BLOCK LINER COMMERCIAL

In the Dry Creek District, full-block liner buildings consist of commercial and residential uses wrapped around a parking structure.



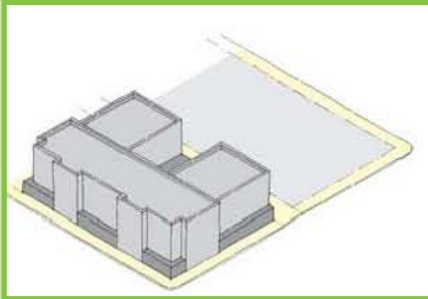
## 4.0 District Standards Quick Reference Guide

### 4.7.2 Dry Creek Mixed Use Development Standards

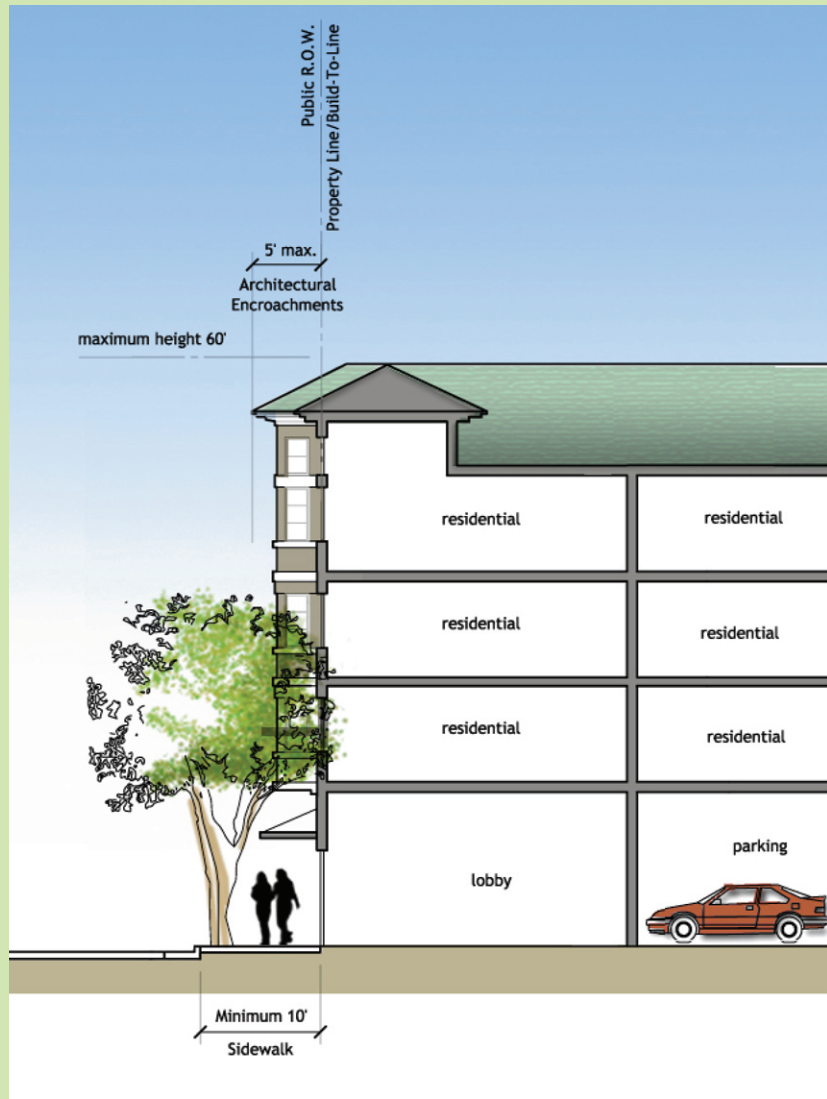
#### D. Acceptable Development Types - cont.

##### PODIUM

A podium building type contains residential units above a ground floor parking garage.



*Podium parking allows for a higher FAR of development*



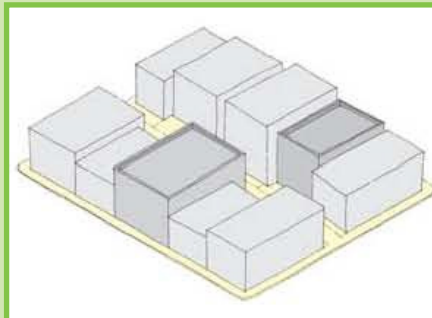
# 4.0 District Standards Quick Reference Guide

## 4.7.2 Dry Creek Mixed Use Development Standards

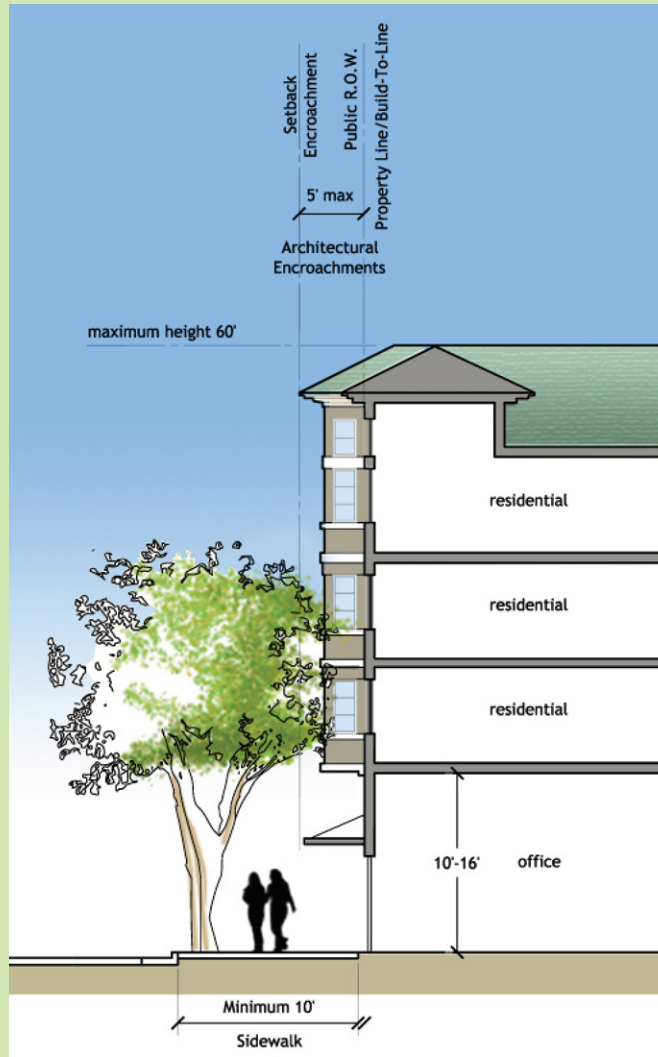
### D. Acceptable Development Types - cont.

#### INFILL COMMERCIAL

These buildings are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices or residences.



*Residential over commercial is strongly encouraged*



## 4.0 District Standards Quick Reference Guide

### 4.7.2 Dry Creek Mixed Use District Development Standards

#### E. Permitted Sign Types



*Awning*



*Projecting*



*Sidewalk Sign*



*Back Door*



*Under Canopy*



*Vertical  
Blade*



*Menu Board*



*Over Canopy*



*Inlaid Floor*



*Wall*



*Window*

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.7.2 Dry Creek Mixed Use District Development Standards

#### **F. Streetscapes**

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

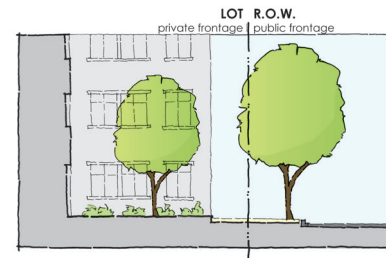
#### **Residential Streetscapes**

##### **Forecourt**

In a Forecourt (Residential) frontage type, the majority of the façade is aligned close to the frontage line while a portion is setback to form a courtyard.

##### **Standards:**

- *Maximum depth of 35 feet;*
- *Maximum courtyard elevation of 40 inches;*
- *Fences or walls at the property line are prohibited.*



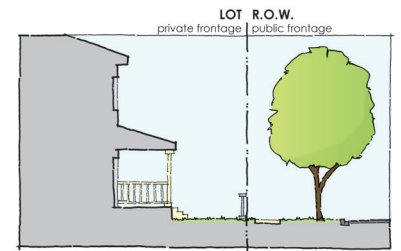
Forecourt

##### **Porch and Fence**

The Porch and Fence frontage type, which utilizes a setback and often employs a short, two or three foot tall fence or wall, is typically associated with single family homes.

##### **Standards:**

- *Porches shall be at least 8 feet deep, 12 feet wide with a minimum total of 80 square feet;*
- *Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;*
- *Front setback minimum of 10 feet and maximum of 15 feet from property line;*
- *Open porches may project into the front yard setback a maximum of 6 feet;*
- *Maximum height of the porch not to exceed 4 feet 6 inches above the adjacent curb.*



Porch & Fence

## 4.0 District Standards Quick Reference Guide

### 4.7.2 Dry Creek Mixed Use District Development Standards

#### F. Streetscapes (cont.)

#### Commercial Streetscapes

##### Arcade

The Arcade frontage type consists of a series of arches supported by columns, piers, or pillars. The arcade is contained underneath an upper floor.

##### Standards:

- Minimum width of 12 feet in all directions;
- At least 75% of the ground floor arcade shall open to the storefront;
- Arcade openings shall correspond with storefront openings.

##### Storefront and Awning

The Storefront and Awning (Commercial) frontage type describes a commercial façade placed at or near the “build-to” front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

##### Standards:

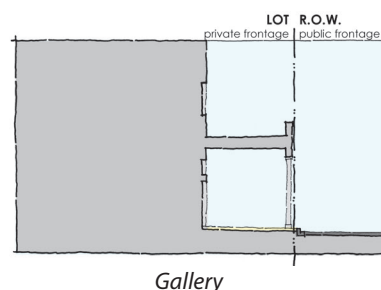
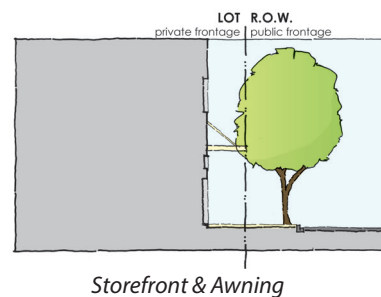
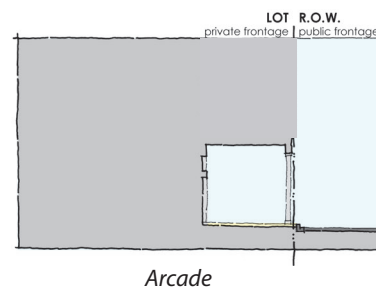
- Maximum height of a storefront should be between 12 and 16 feet, but shall not be less than 10 feet;
- The storefront shall contain at least 65% clear glass;
- In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible,
- Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.

##### Gallery

The **Gallery** frontage type is similar to the arcade frontage, but, unlike an arcade, the covered promenade extends beyond the exterior wall of a building. This type of commercial frontage is typically employed when exposure to the elements is a concern.

##### Standards:

- Minimum width of 12 feet in all directions;
- At least 75% of the ground floor gallery shall open to the storefront;
- Gallery openings shall correspond with storefront openings.



# 4.0 District Standards Quick Reference Guide

## 4.8 Royer Park District (DT-8)

The Royer Park district includes both Royer and Saugstad Parks. It is City controlled property that is not considered as a formal “development district”, but is intended to be a recreational space for the Downtown and the entire community. Uses within this district are meant to provide the public with a diversity of recreational opportunities which are fully discussed in the Specific Plan and the accompanying Royer/Saugstad Park Master Plan Update



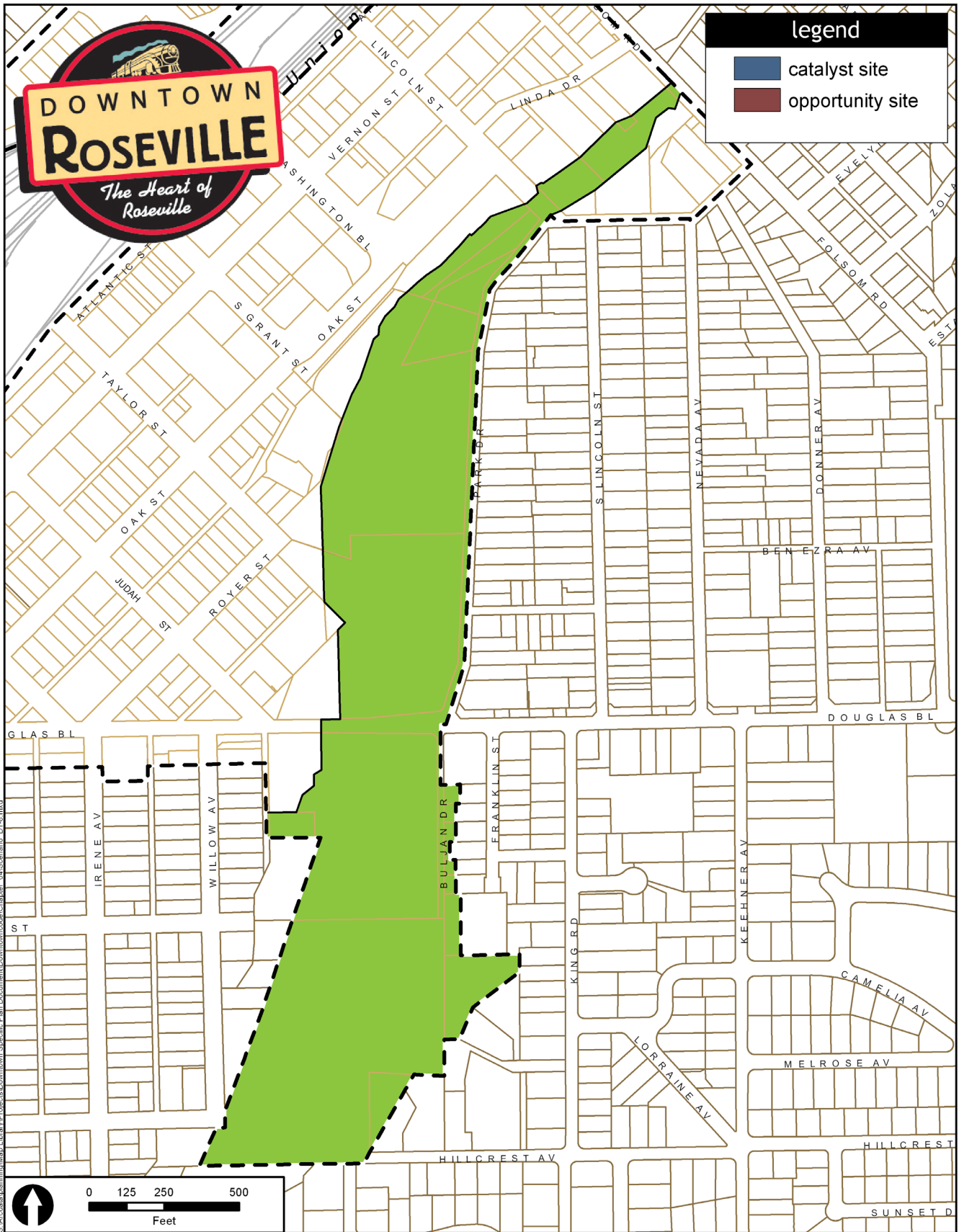
Projected 20 Year Buildout Summary	
<b>Residential Units</b>	
Original Units	0
*Projected New Units	0
<b>Total Projected Units</b>	<b>0</b>
<b>Development Footprint</b>	
Original SQFT	8,000
**Projected New SQFT	n/a
<b>Total Projected SQFT</b>	<b>n/a</b>
<b>Notes:</b>	
*Total Projected Units at 20 year buildout minus Original Units	
**Total Projected SQFT at 20 year buildout minus Original SQFT	

Land Use/Zoning and Development Footprint	
<b>Land Use:</b>	<b>P/R</b>
<b>Zoning:</b>	<b>PR, PR/FW, PR/FF</b>
<b>Net Acres:</b>	<b>34.72</b>



# 4.0 District Standards Quick Reference Guide

## 4.8.1 - 20 yr Build-Out Scenario - Royer Park District (DT-8)



# 4.0 District Standards Quick Reference Guide

## 4.9 Creek View Residential District (DT-9)

The Creek View Residential District is comprised of the districts formerly designated Attached Housing (R3) and Floodway Fringe (FF). The **Downtown Code** provides development standards and design criteria for the Creek View Residential District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



### Projected 20 Year Buildout Summary

#### Residential Units

(Exclusive of mixed-use units)

Original Units	13
*Projected New Units	62
<b>Total Projected Units</b>	<b>75</b>

#### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	20,677
**Projected New SQFT	54,623
<b>Total Projected SQFT</b>	<b>75,300</b>

#### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

### Land Use/Zoning and Development Footprint

**Land Use:** HDR

**Zoning:** R3/SA-DT,  
R3/FF/SA-DT

**Net Acres:** 2.51

### Encouraged Principally Permitted Uses in the Creek View Residential District

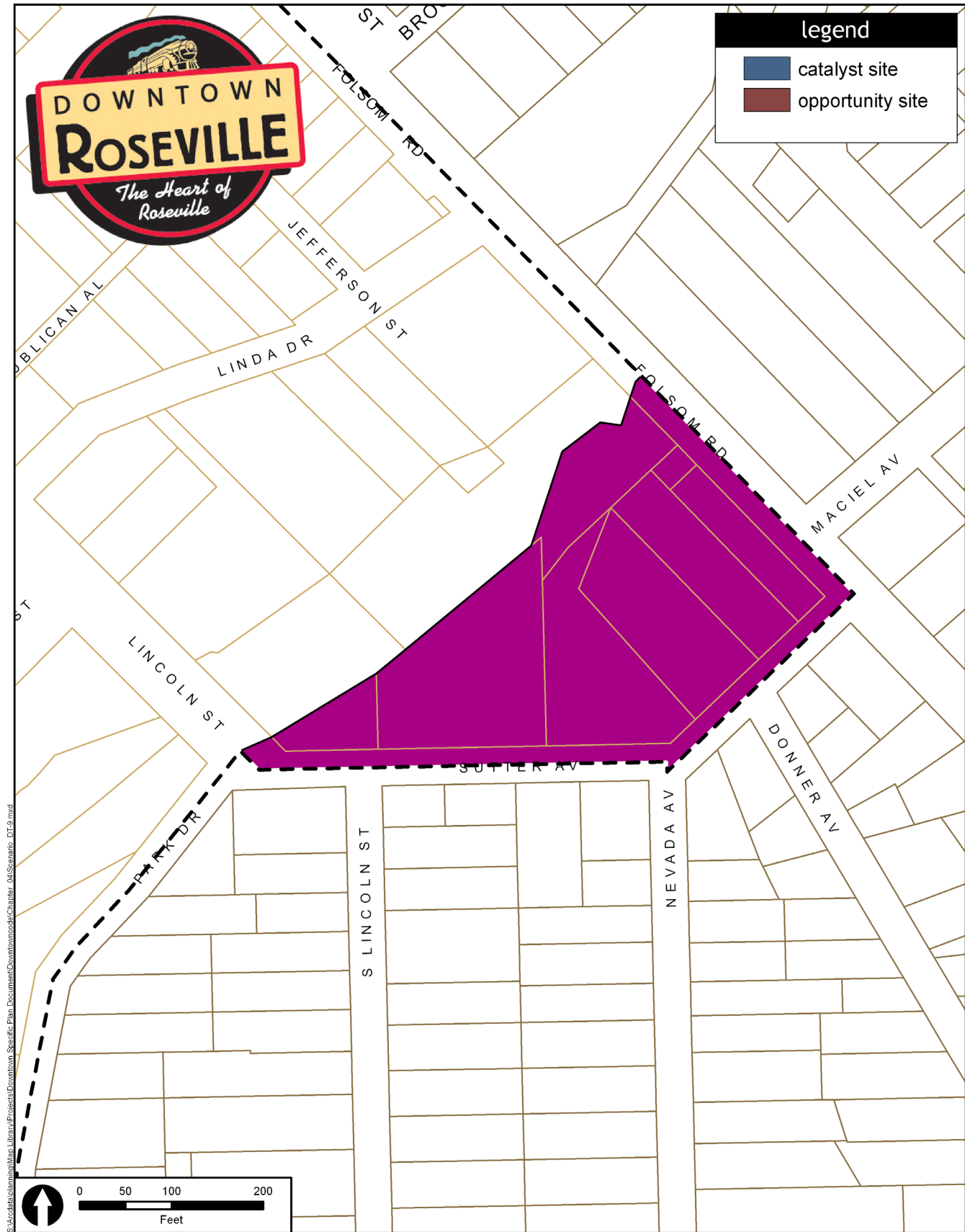
- *Neighborhood Grocery store*
- *Multi-family residential*
- *Day Care*
- *Community Care*
- *Mixed-Use*
- *Live/Work*

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.9.1 - 20 yr Build-Out Scenario - Creek View Residential District (DT-9)

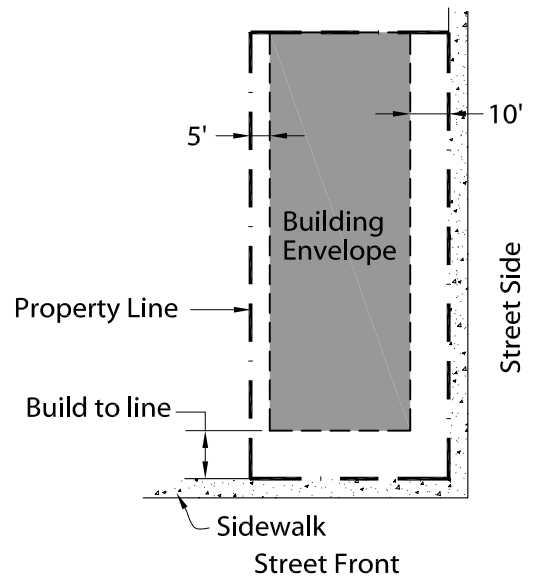


## 4.0 District Standards Quick Reference Guide

### 4.9.2 Creek View Residential District Development Standards

#### A. Setbacks, Height and Intensity

- 1) **Build to line:** 0 - 15 feet  
**Front Setback Encroachment:** 6 feet for steps and porches  
**Side Setback:** 5 feet (12.5 feet on street frontages)  
**Rear Setback:** 0 feet, or as regulated by the floodway boundary
- 2) **Maximum Height:** Three Story (45 feet)
- 2) **Minimum FAR:** 1.00  
**Maximum FAR:** 2.00  
**Minimum Density:** 15 units/acre  
**Maximum Density:** Allowed by Floor Areas Ratio (FAR) or 28 units/acre, whichever is greater  
**Lot Area:** Defined by development design



#### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Alley-loaded garage (detached or attached), behind building, structure or in lieu.

**Commercial/Office:** 1/500 sq. ft.

**Residential:**

- Studio or 1 bedroom = 1/unit
- 2+ bedroom = 1.5/unit
- Single-family = 2/unit
- Duplex = 2/unit

**Guest Parking** - Projects with 10 or more dwelling units shall provide 1 additional space for each 10 dwelling units or portion thereof

**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

**Notes:**

- 1) *Build to line is the maximum distance a building should be setback from the front property line*
- 2) *Refer to incentives in Chapter 3 regarding height and floor area ratio*



## 4.0 District Standards Quick Reference Guide

### 4.9.2 Creek View Residential District Development Standards

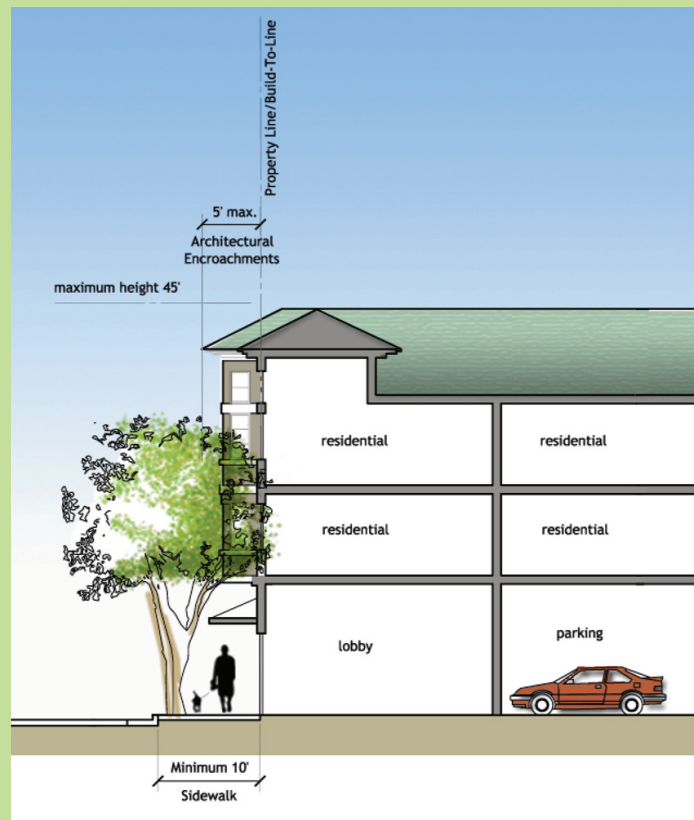
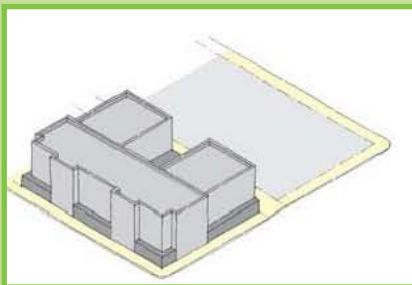
#### C. Special Provisions

There are no special provisions for the Creek View Residential District

#### D. Acceptable Development Types

##### **PODIUM**

A podium building type contains residential units above a ground floor parking garage.



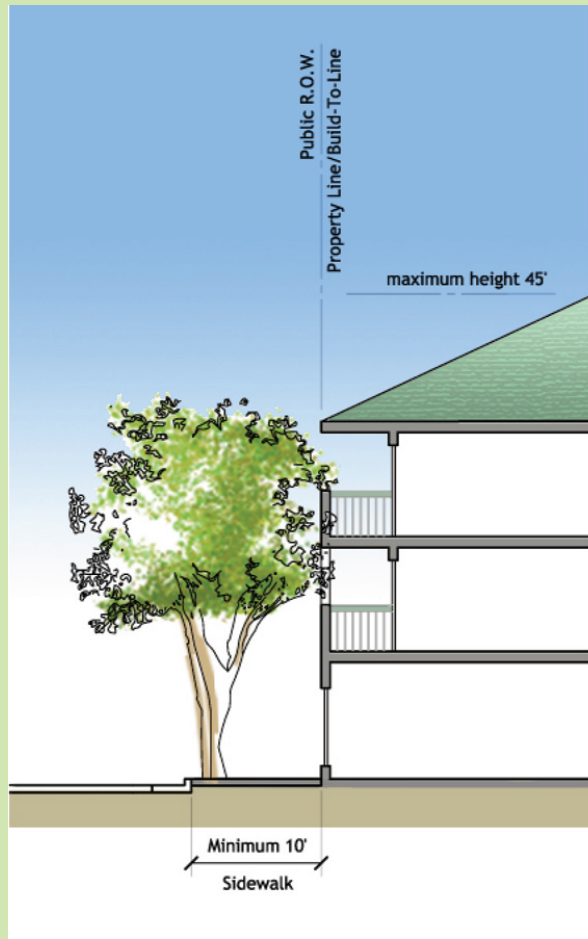
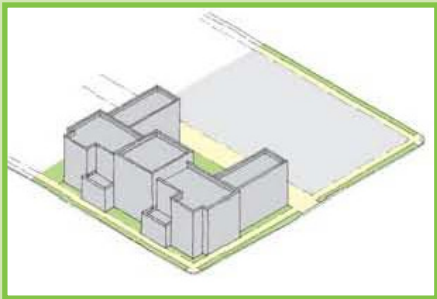
# 4.0 District Standards Quick Reference Guide

## 4.9.2 Creek View Residential District Development Standards

### D. Acceptable Development Types - cont.

#### **TERRACE**

A terraced building type consists of flats over flats or townhouses over flats.



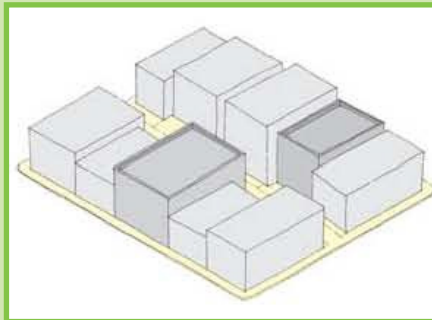
## 4.0 District Standards Quick Reference Guide

### 4.9.2 Creek View Residential District Development Standards

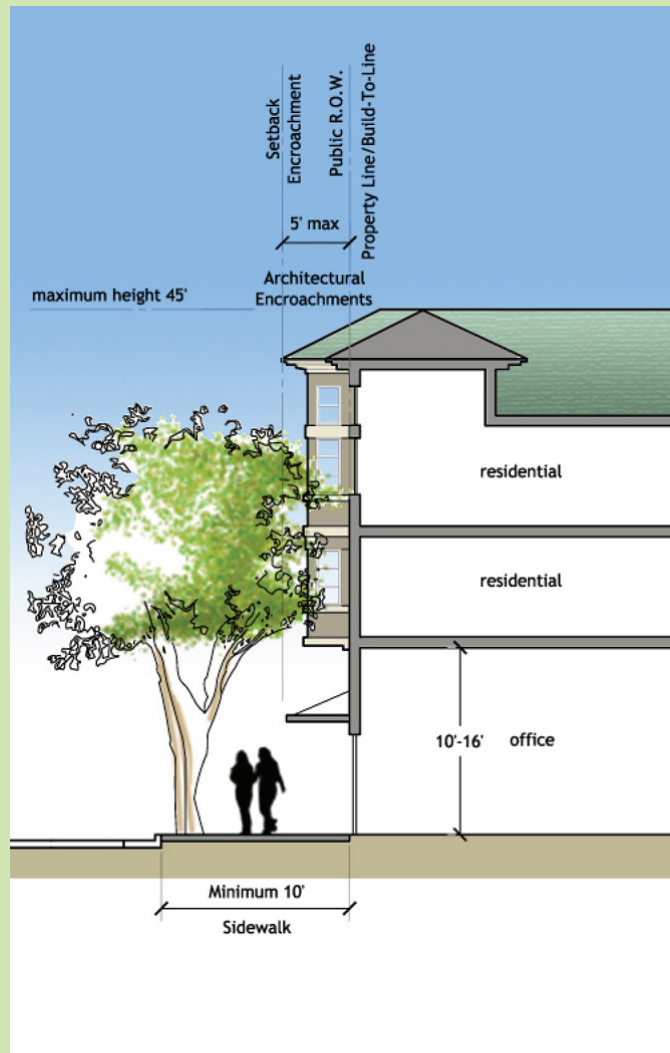
#### D. Acceptable Development Types - cont.

##### INFILL COMMERCIAL

These buildings are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices or residences.



*Residential over commercial is strongly encouraged*



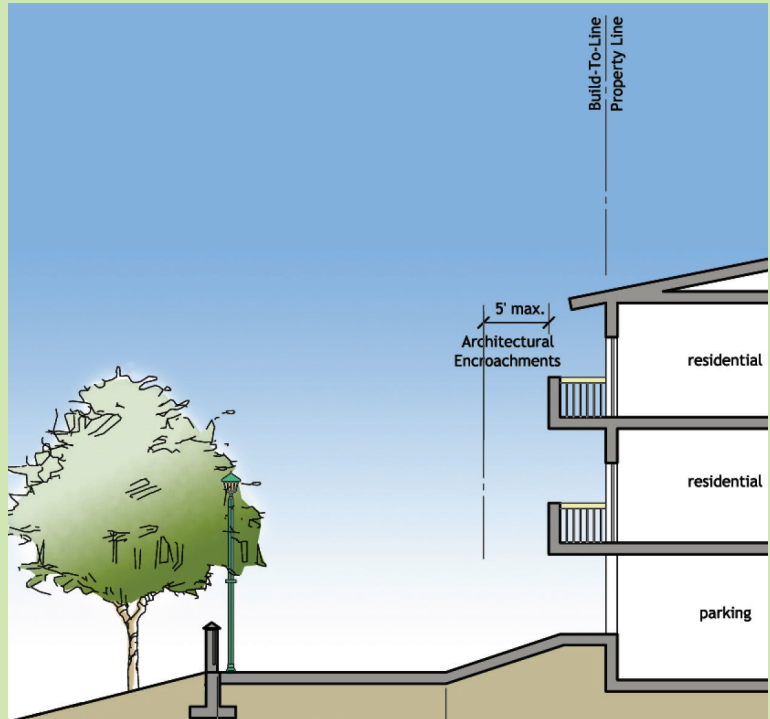
# 4.0 District Standards Quick Reference Guide

## 4.9.2 Creek View Residential District Development Standards

### D. Acceptable Development Types - cont.

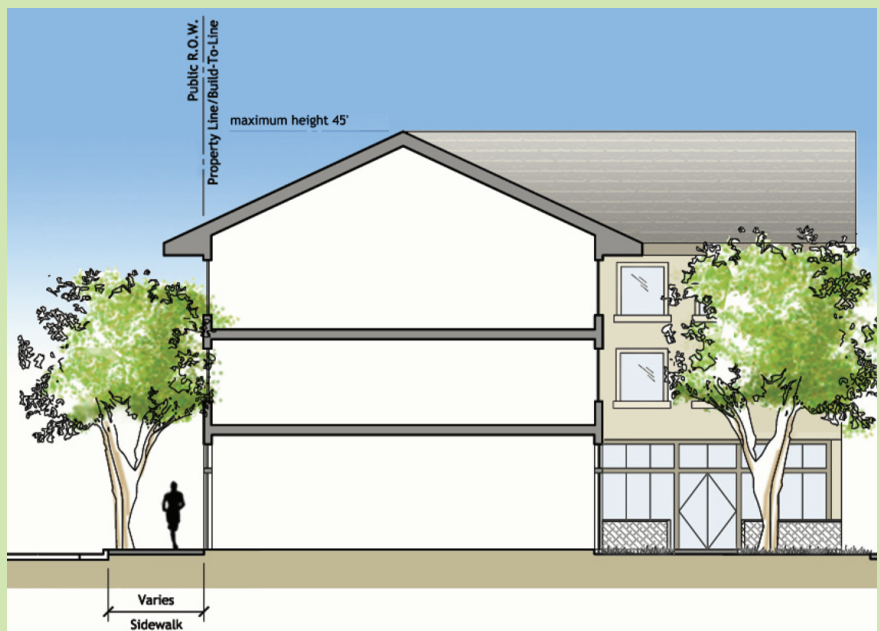
#### TOWNHOUSE

A series of dwelling units situated side by side that share common wall(s). This type of construction is promoted within this district to promote a strong street presence.



#### COURTYARD

A courtyard building type employs residences (flats or townhouses) around common space(s).



## 4.0 District Standards Quick Reference Guide

### 4.9.2 Creek View Residential District Development Standards

#### E. Permitted Sign Types



*Monument*



*Projecting*



*Over Canopy*



*Under Canopy*

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.9.2 Creek View Residential District Development Standards

#### **E. Streetscapes**

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

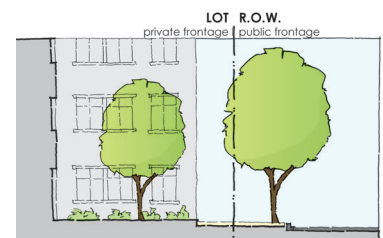
#### **Residential Streetscapes**

##### **Forecourt**

In a Forecourt (Residential) frontage type, the majority of the façade is aligned close to the frontage line while a portion is setback to form a courtyard.

##### **Standards:**

- *Maximum depth of 35 feet;*
- *Maximum courtyard elevation of 40 inches;*
- *Fences or walls at the property line are prohibited.*



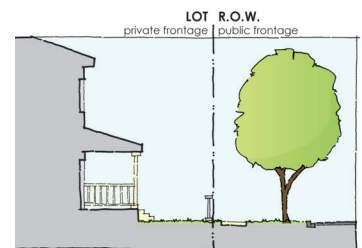
Forecourt

##### **Porch and Fence**

The Porch and Fence frontage type, which utilizes a setback and often employs a short, two or three foot tall fence or wall, is typically associated with single family homes.

##### **Standards:**

- *Porches shall be at least 8 feet deep, 12 feet wide with a minimum total of 80 square feet;*
- *Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;*
- *Front setback minimum of 10 feet and maximum of 15 feet from property line;*
- *Open porches may project into the front yard setback a maximum of 6 feet;*
- *Maximum height of the porch not to exceed 4 feet 6 inches above the adjacent curb.*



Porch & Fence

## 4.0 District Standards Quick Reference Guide

### 4.9.2 Creek View Residential District Development Standards

#### E. Streetscapes (cont.)

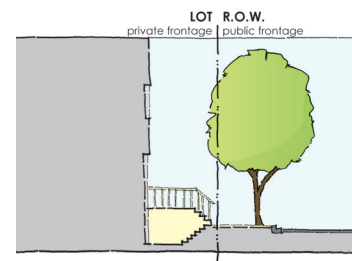
#### Residential Streetscapes - cont.

##### Terrace

A terrace frontage type consists of an elevated lawn or entryway placed near the front property line. Suitable for attached, higher density, multi-residential uses.

##### Standards:

- Front entry doors and porches facing street are preferred;
- Bay windows or other projections may project up to 3 feet into front setback;
- Steps/stoop may project to back of sidewalk;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Open porches may project up to 6 feet into setback.



Terrace

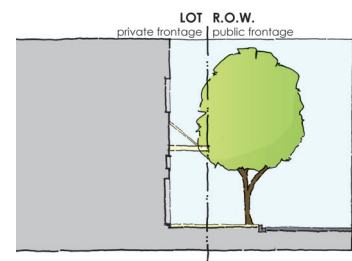
#### Commercial Streetscapes

##### Storefront and Awning

The Storefront and Awning (Commercial) frontage type describes a commercial façade placed at or near the "build-to" front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

##### Standards:

- Maximum height of a storefront should be between 12 and 16 feet, but shall not be less than 10 feet;
- The storefront shall contain at least 65% clear glass;
- In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible;
- Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.



Storefront & Awning

## 4.0 District Standards Quick Reference Guide

### 4.10 Vernon Bungalow District (DT-10)

The Vernon Bungalow District is comprised of the districts formerly designated Planned Development (PD). The **Downtown Code** provides development standards and design criteria for the Vernon Bungalow District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	47
*Projected New Units	17
<b>Total Projected Units</b>	<b>64</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	59,233
**Projected New SQFT	4,523
<b>Total Projected SQFT</b>	<b>63,756</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** MDR

**Zoning:** RS/SA-DT

**Net Acres:** 7.59

#### Encouraged Principally Permitted Uses in the Vernon Bungalow District

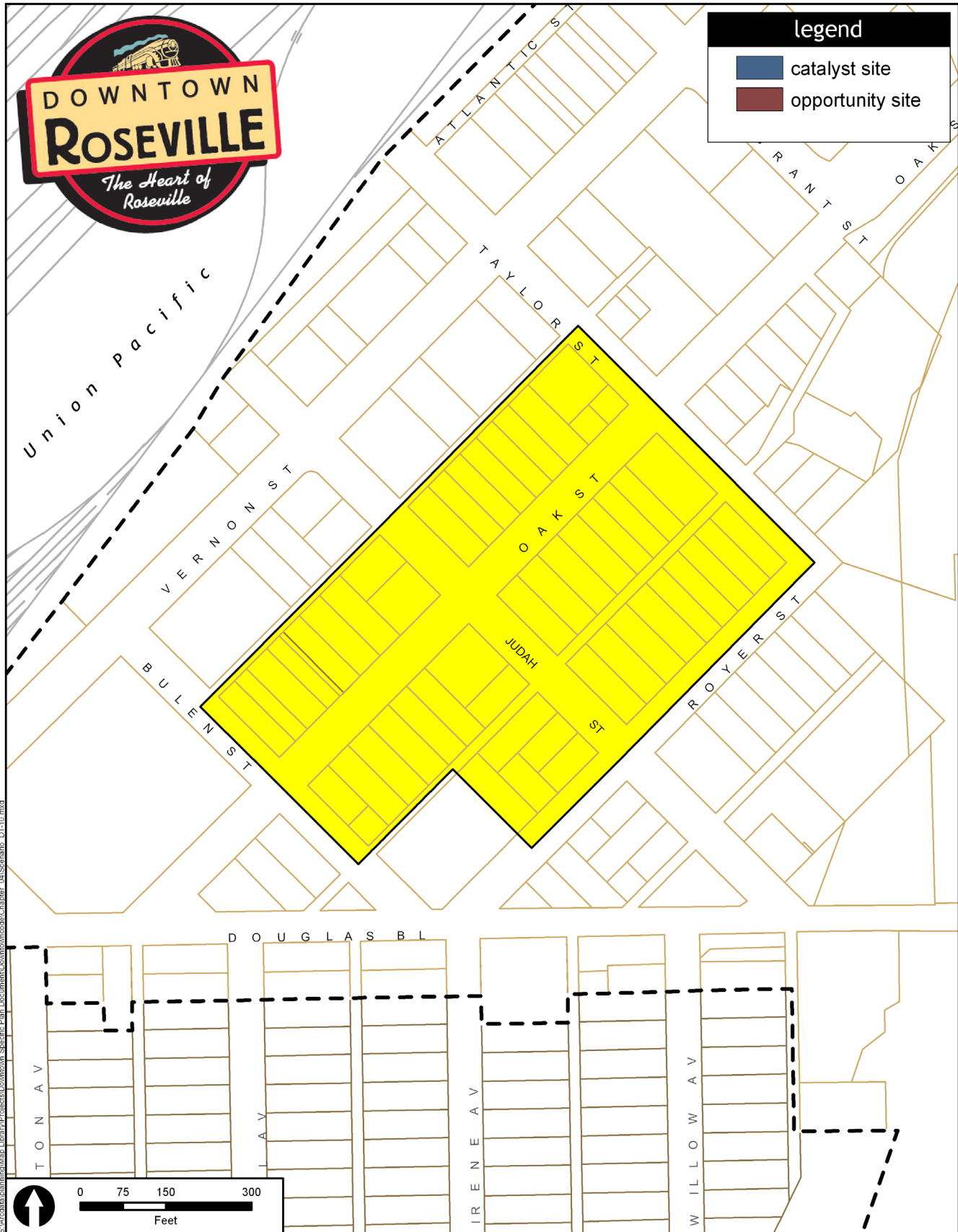
- *Single-Family Residential*
- *Cottage Offices*
- *Medium density residential*
- *Duplex*
- *Live Work*

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.10.1 - 20 yr Build-Out Scenario - Vernon Bungalow District (DT-10)



S:\arcdata\plan\mxd\Map Library\Projects\Downtown Specific Plan Document\Downloads\dt10\Chapter\_C4\Scenario\_4 DT-10.mxd

## 4.0 District Standards Quick Reference Guide

### 4.10.2 Vernon Bungalow District Development Standards

#### A. Setbacks, Height and Intensity

1) **Front Setback:** 15 feet with 20 ft drive/18 ft with roll-up door

**Front Setback Encroachment:** 6 feet for steps and porches

**Side Setback:** 5 feet (12.5 feet on corner lots)

**Rear Setback:** 10 feet

**Minimum Lot Width:** Interior 45 ft - Corner 55 ft

**Maximum Height:** Two Story (35 feet)

**Minimum FAR:** .20

**Maximum FAR:** .40

**Minimum Density:** 4 units/acre

**Maximum Density:** 12.9 units/acre

**Lot Area:** Interior = 4,500 ft    Corner = 5,500 ft

Or as defined by development design approved through a Design Review Permit.

**Office Setbacks:** As required by adopted Building and Fire Codes

#### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Alley-loaded garage (attached or detached), street-loaded garage

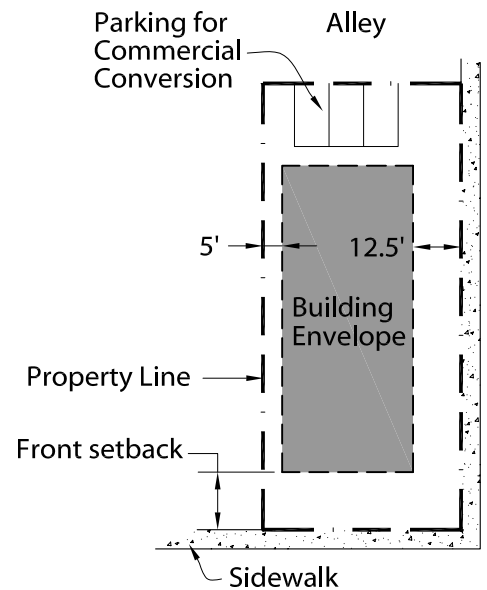
1) **Commercial/Office:** 1/500 sq. ft.

##### Residential:

- Single-family = 2/unit
- Office = 1/500 square feet

**Incentives:** Parking can be satisfied via payment of a parking in-lieu fee.

2) Refer to Residential to Commercial conversion standard in Chapter 7



On-street parking is available to supplement residential conversions to offices where available, parking can also be provided via the alley access.



## 4.0 District Standards Quick Reference Guide

### 4.10.2 Vernon Bungalow District Development Standards

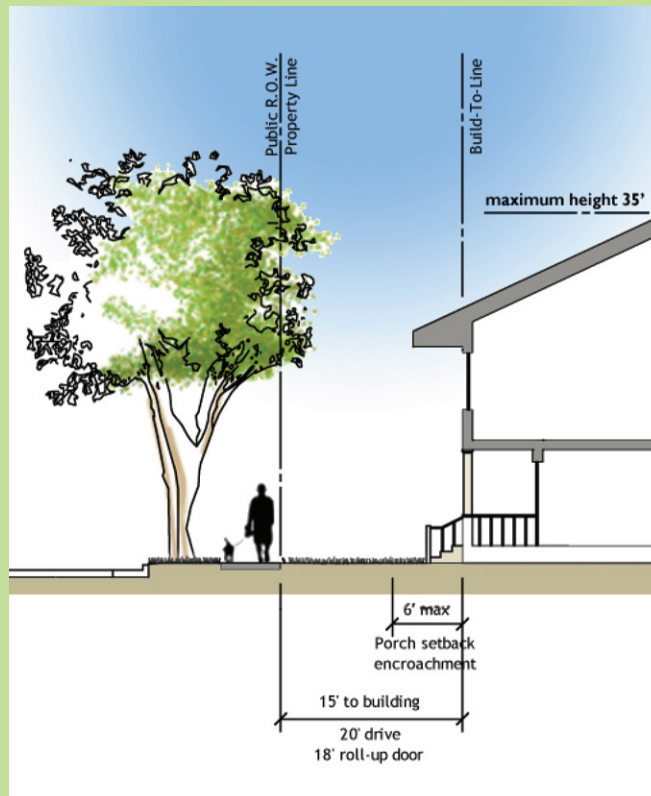
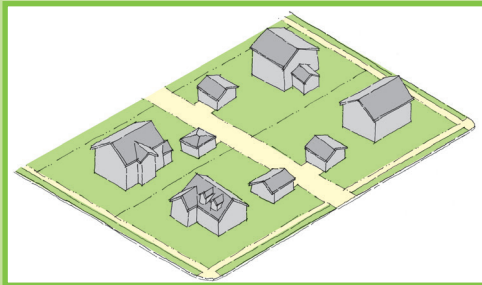
#### C. Special Provisions

1. Cottage office space can be approved via a zoning clearance when conforming with the residential to office conversion standards contained in Chapter 7.

#### D. Acceptable Development Types - cont.

##### COTTAGE OFFICE

A cottage office building type is a detached building, similar to or formerly used as a single family home, that is now occupied by an office use.



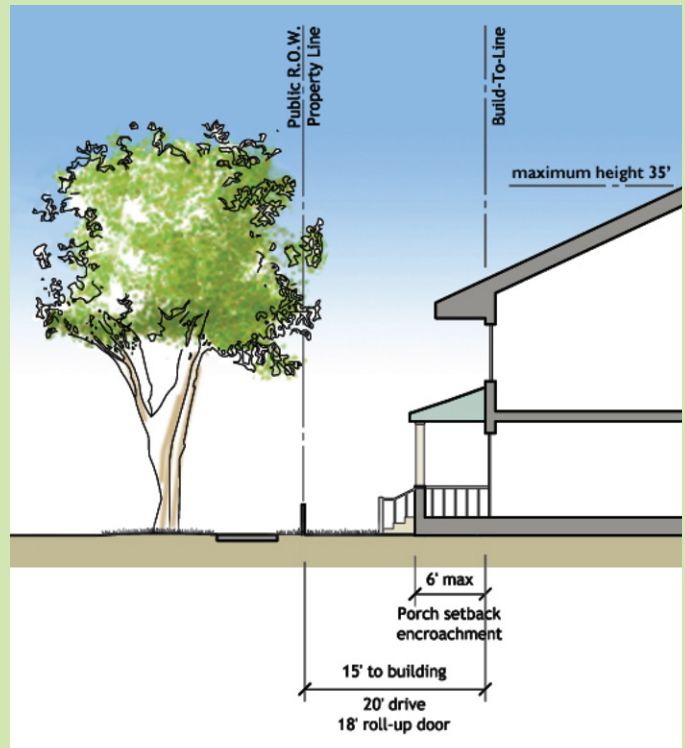
# 4.0 District Standards Quick Reference Guide

## 4.10.2 Vernon Bungalow District Development Standards

### D. Acceptable Development Types

#### COTTAGE COURTYARD

A courtyard building type that positions residences (flats or townhouses) around common space(s). Refer to design criteria contained in Chapter 7 of this document.



## 4.0 District Standards Quick Reference Guide

### 4.10.2 Vernon Bungalow District Development Standards

#### E. Permitted Sign Types (Office Use Only)



*Back Door*



*Projecting*



*Monument*

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.10.2 Vernon Bungalow District Development Standards

#### F. Streetscapes

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

### Residential Streetscapes

#### Porch and Fence

The Porch and Fence frontage type, which utilizes a setback and often employs a short, two or three foot tall fence or wall, is typically associated with single family homes.

##### Standards:

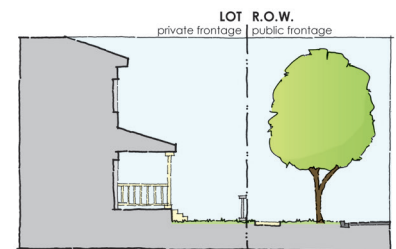
- Porches shall be at least 8 feet deep, 12 feet wide with a minimum total of 80 square feet; -
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Front setback minimum of 10 feet and maximum of 15 feet from property line;
- Open porches may project into the front yard setback a maximum of 6 feet;
- Maximum height of the porch not to exceed 4 feet 6 inches above the adjacent curb.

#### Terrace

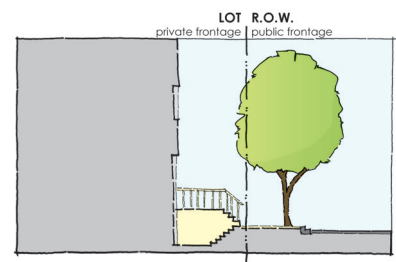
A terrace frontage type consists of an elevated lawn or entryway placed near the front property line. Suitable for attached, higher density, multi-residential uses.

##### Standards:

- Front entry doors and porches facing street are preferred;
- Bay windows or other projections may project up to 3 feet into front setback;
- Steps/stoop may project to back of sidewalk;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Open porches may project up to 6 feet into setback.



Porch & Fence



Terrace



## 4.0 District Standards Quick Reference Guide

### 4.11 Douglas Corridor District (DT-11)

The Douglas Corridor District is comprised of the districts formerly designated General Commercial (GC), Community Commercial (CC), Planned Development (PD), Neighborhood Commercial (NC), Business Professional (BP), and Attached Housing (R3). The **Downtown Code** provides development standards and design criteria for the Douglas Corridor District. The following summarizes the prescriptive standards for the district, the projected buildout, principally permitted uses and other pertinent information.



#### Projected 20 Year Buildout Summary

##### Residential Units

(Exclusive of mixed-use units)

Original Units	18
*Projected New Units	53
<b>Total Projected Units</b>	<b>71</b>

##### Development Footprint

(Inclusive of residential and non-residential development)

Original SQFT	71,875
**Projected New SQFT	133,728
<b>Total Projected SQFT</b>	<b>205,603</b>

##### Notes:

\*Total Projected Units at 20 year buildout minus Original Units

\*\*Total Projected SQFT at 20 year buildout minus Original SQFT

#### Land Use/Zoning and Development Footprint

**Land Use:** CC

**Zoning:** CMU/SA-DT  
CMU/FF/SA-DT

**Net Acres:** 9.44

#### Encouraged Principally Permitted Uses in the Douglas Corridor District

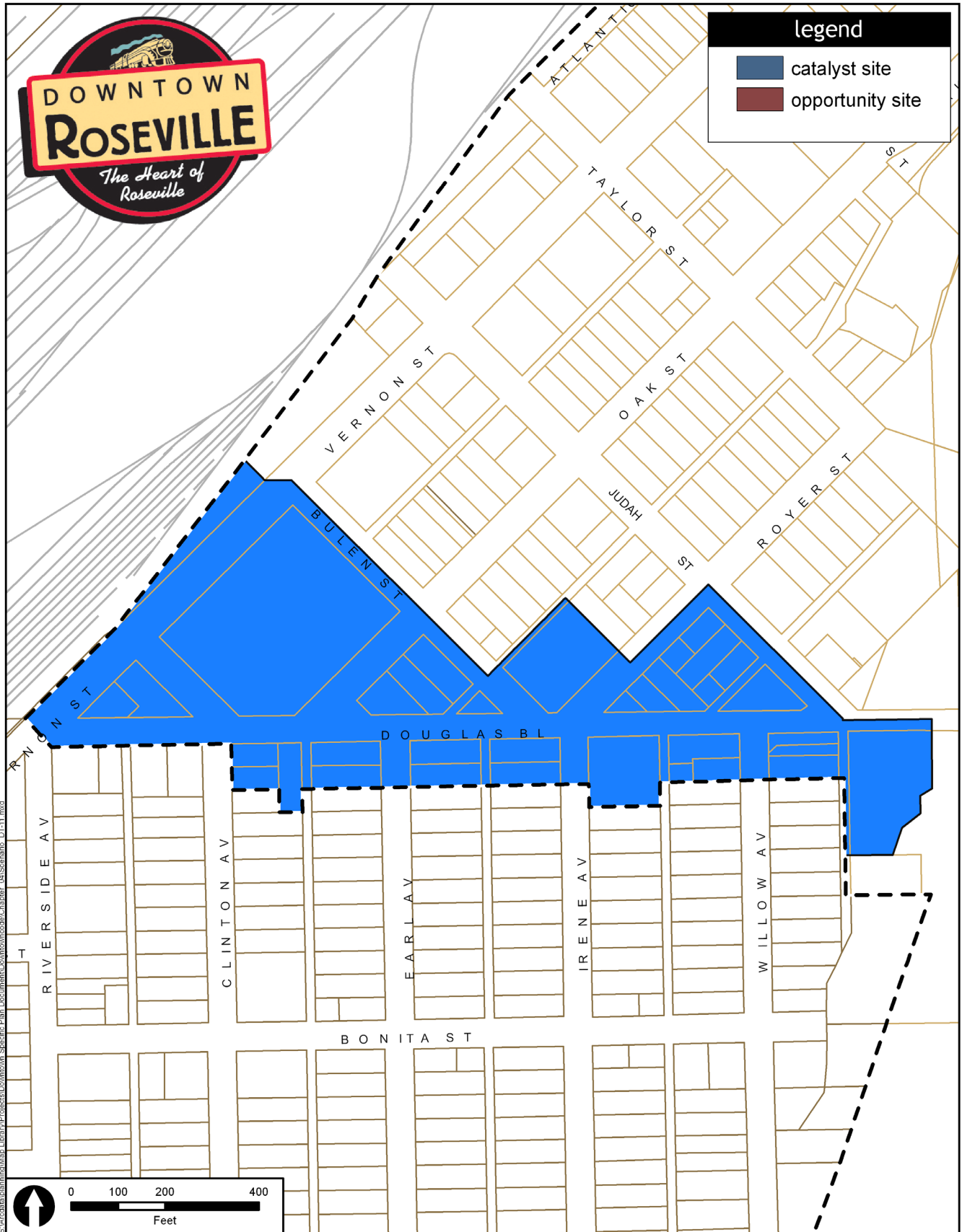
- Mixed use
- Retail
- Restaurants
- Service
- Offices
- Multi-family residential

*For a full list of principally and conditionally permitted uses, please refer to Chapter 2*



# 4.0 District Standards Quick Reference Guide

## 4.11.1 - 20 yr Build-Out Scenario - Douglas Corridor District (DT-11)



## 4.0 District Standards Quick Reference Guide

### 4.11.2 Douglas Corridor District Development Standards

#### A. Setbacks, Height and Intensity

- 1) **Build to line:** 0-15 feet
- Front Setback Encroachment:** 5 foot maximum for architectural features.
- Side Setback:** 0 feet
- Rear Setback:** 15 feet
- 2) **Maximum Height:** Three Story (45 feet )
- 2) **Minimum FAR:** .50
- Maximum FAR:** 1.00
- Minimum Density:** 13 units/acre
- Maximum Density:** 15 units/acre
- Lot Area:** Defined by development design

#### B. Parking Summary Requirements

*Refer to Chapter 3 for full discussion of required parking*

**Locations:** Behind building, parking structure, subterranean, or fee in-lieu of on-site parking

**Commercial/Office:** 1/500 sq. ft. (parking requirements waived for restaurants)

**Residential:**

- Studio or 1 bedroom = 1/unit
- 2+ bedroom = 1.5/unit
- Duplex = 2/unit
- Projects with 10+ residential units will provide 1 guest space/every 10 units

**Mixed Use:** Sum of Commercial and Residential requirements

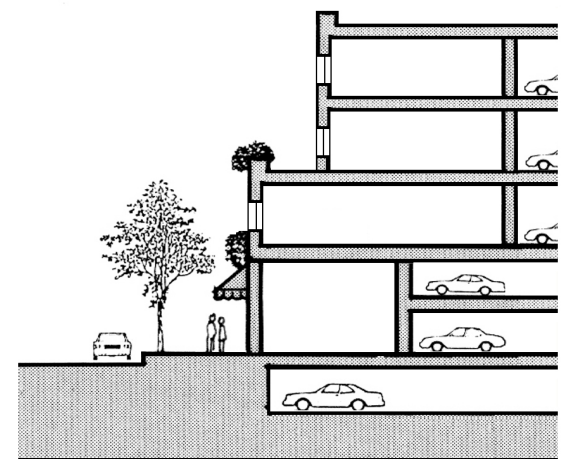
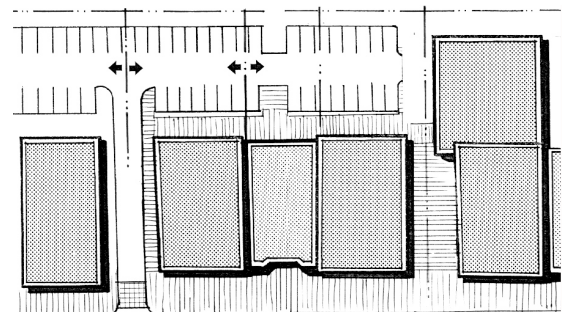
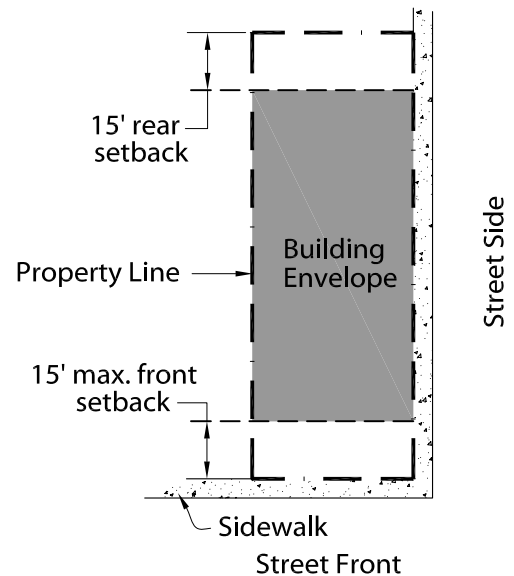
**Incentives:** On-Street parking, lot aggregation & public art can reduce required amount of off-street parking

Parking requirements for existing buildings are waived for permitted uses unless the building is expanded by greater than 15%.

**Notes:**

1) *Build to line is the maximum distance a building should be setback from the front property line. The intent is to front buildings directly on the adjacent sidewalk (refer to Chapter 5-5.3.1).*

2) *Refer to incentives in Chapter 3 regarding height and floor area ratio*



## 4.0 District Standards Quick Reference Guide

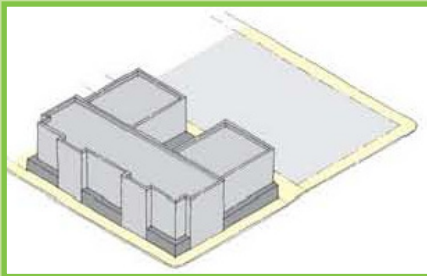
### C. Special Provisions

1. A maximum of 25,000 square feet of single use ground floor retail/office can be developed, anything above requires a conditional use permit.
2. Douglas Boulevard Corridor is designated as a retail frontage street. Special design considerations for this type of street are provided in Chapter 5.

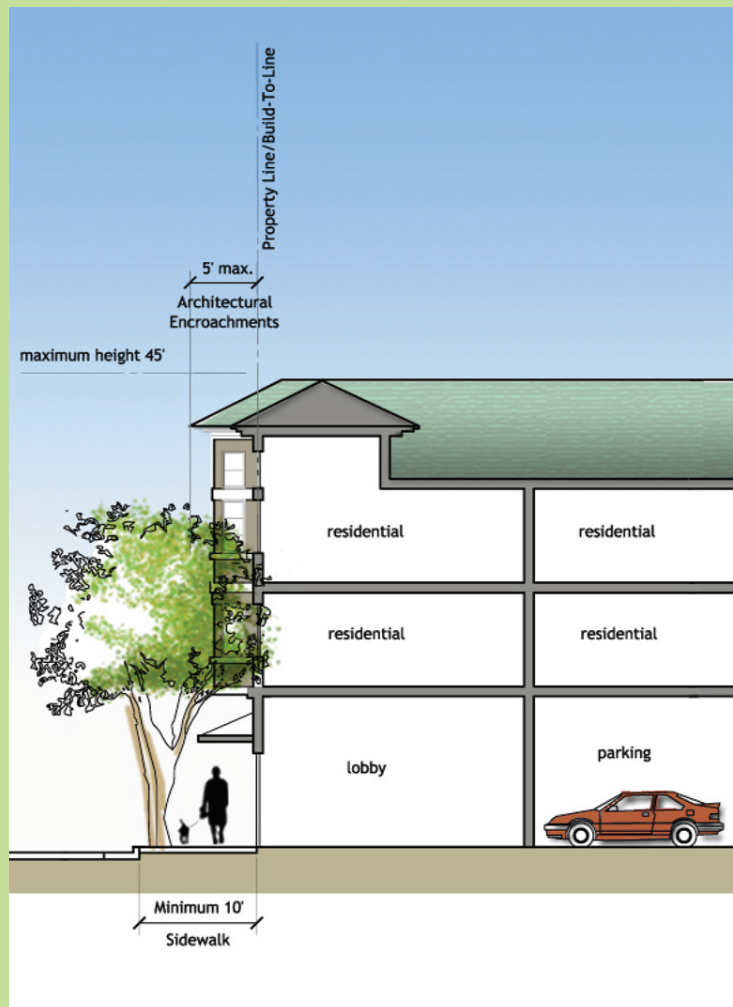
### D. Acceptable Development Types

#### PODIUM

A podium building type contains residential units above a ground floor parking garage.



*Podium parking allows for a higher FAR of development*



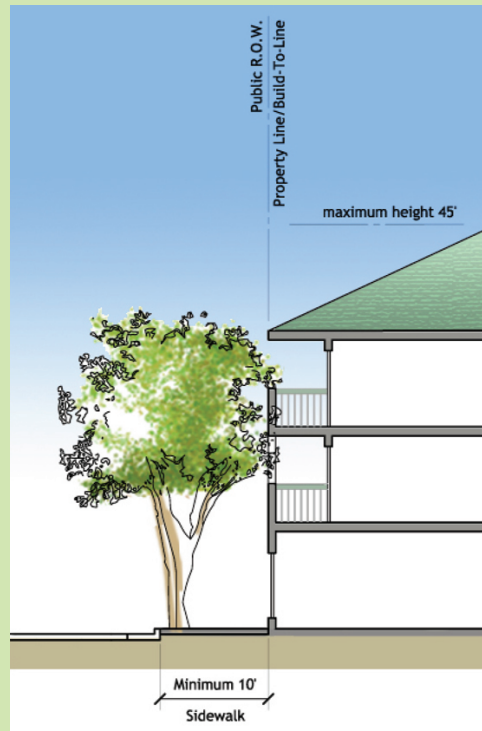
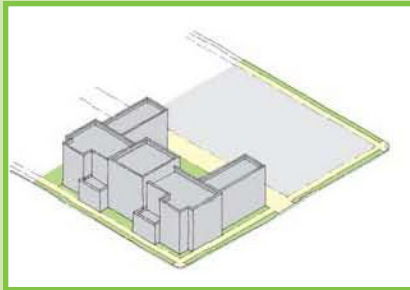
## 4.0 District Standards Quick Reference Guide

### 4.11.2 Douglas Corridor District Development Standards

#### D. Acceptable Development Types - cont.

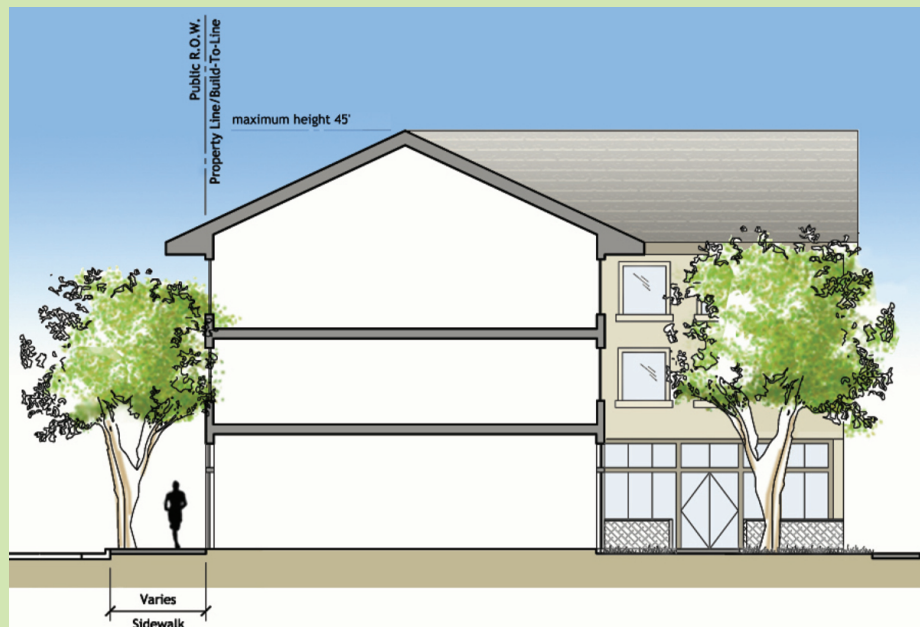
##### TERRACE

A terraced building type consists of flats over flats or townhouses over flats.



##### COURTYARD

A courtyard building type employs residences (flats or townhouses) around common space(s).



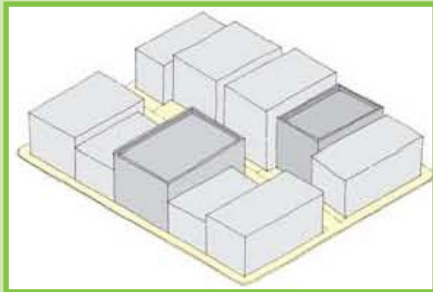
# 4.0 District Standards Quick Reference Guide

## 4.11.2 Douglas Corridor District Development Standards

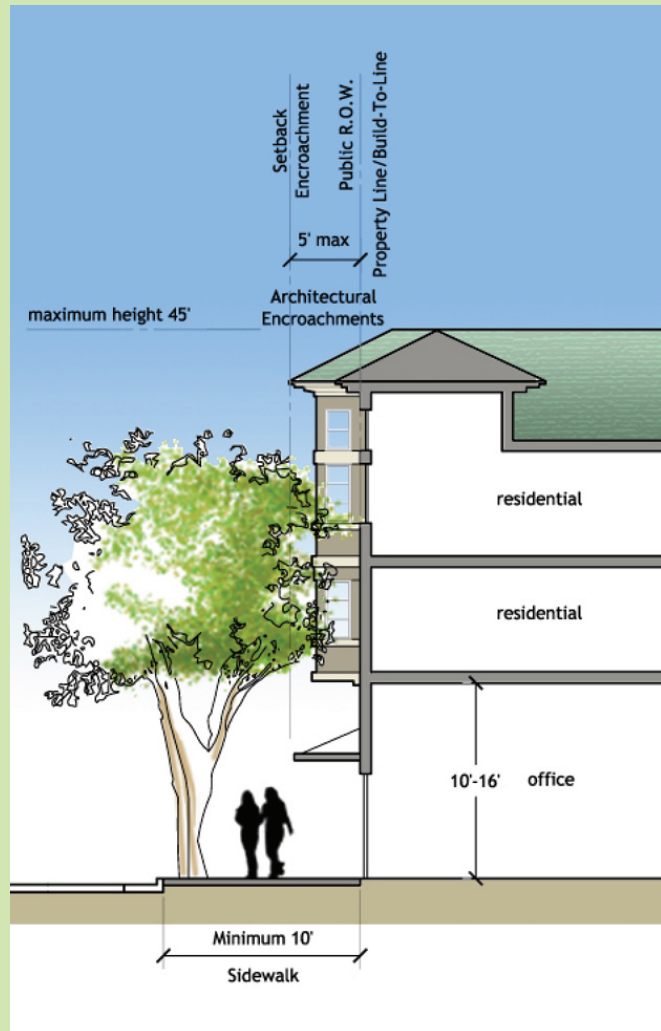
### D. Acceptable Development Types - cont.

#### INFILL COMMERCIAL

These buildings are more traditional downtown commercial buildings with commercial uses, particularly retail, on the ground floor and upper floors devoted to offices or residences.



*Residential over commercial is strongly encouraged*



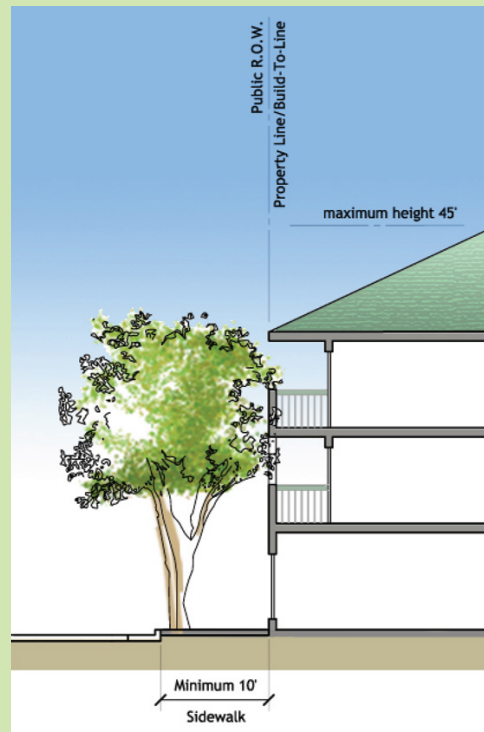
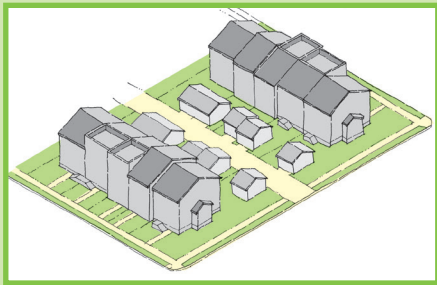
## 4.0 District Standards Quick Reference Guide

### 4.11.2 Douglas Corridor District Development Standards

#### D. Acceptable Development Types - cont.

##### **TOWNHOUSE**

A series of dwelling units situated side by side that share common wall(s). This type of construction is promoted within this district to promote a strong street presence.



# 4.0 District Standards Quick Reference Guide

## 4.11.2 Douglas Corridor District Development Standards

### E. Permitted Sign Types



Alleyway



Menu Board



Vertical Blade



Sidewalk Sign



Awning



Monument



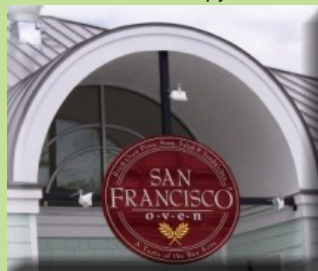
Over Canopy



Wall



Back Door



Under Canopy



Inlaid Floor



Window

For a full discussion and development criteria, refer to Chapter 8 of the **Downtown Code**



## 4.0 District Standards Quick Reference Guide

### 4.11.2 Douglas Corridor District Development Standards

#### F. Streetscapes

**Note:** Streetscapes may not work for re-use of existing structures. Flexibility will be required when considering re-use of existing building forms. These streetscapes have been developed based on either a residential application or a commercial development.

#### Residential Streetscapes

##### Terrace

A terrace frontage type consists of an elevated lawn or entryway placed near the front property line. Suitable for attached, higher density, multi-residential uses.

##### Standards:

- Front entry doors and porches facing street are preferred;
- Bay windows or other projections may project up to 3 feet into front setback;
- Steps/stoop may project to back of sidewalk;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Open porches may project up to 6 feet into setback.

##### Porch and Fence

The Porch and Fence frontage type, which utilizes a setback and often employs a short, two or three foot tall fence or wall, is typically associated with single family homes.

##### Standards:

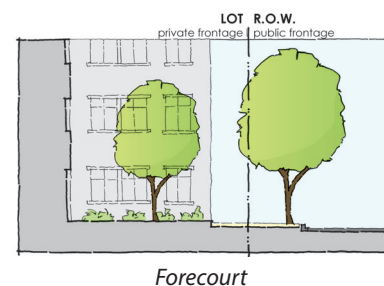
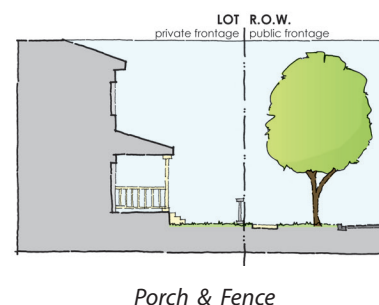
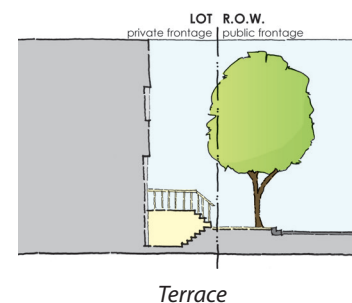
- Porches shall be at least 8 feet deep, 12 feet wide with a minimum total of 80 square feet;
- Projecting porch/stoop shall be a minimum of 18 inches in elevation, but not to exceed 4 feet 6 inches above the grade of the adjacent sidewalk;
- Front setback minimum of 10 feet and maximum of 15 feet from property line;
- Open porches may project into the front yard setback a maximum of 6 feet;
- Maximum height of the porch not to exceed 4 feet 6 inches above the adjacent curb.

##### Forecourt

In a Forecourt (Residential) frontage type, the majority of the façade is aligned close to the frontage line while a portion is setback to form a courtyard.

##### Standards:

- Maximum depth of 35 feet;
- Maximum courtyard elevation of 40 inches,
- Fences or walls at the property line are prohibited.



## 4.0 District Standards Quick Reference Guide

### 4.11.2 Douglas Corridor District Development Standards

#### F. Streetscapes (cont.)

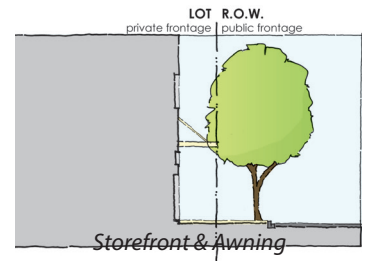
### Commercial Streetscapes

#### **Storefront and Awning**

The Storefront and Awning (Commercial) frontage type describes a commercial façade placed at or near the “build-to” front line adorned with an awning. This type is the most historically relevant to historic commercial development patterns in Downtown Roseville.

#### **Standards:**

- *Maximum height of a storefront should be between 12 and 16 feet; but shall not be less than 10 feet;*
- *The storefront shall contain at least 65% clear glass;*
- *In buildings spanning several lots, existing storefront width rhythm shall be maintained where feasible;*
- *Awnings can extend into the Public Right of Way if an encroachment permit is obtained as part of the installation.*



#### **Gallery**

The Gallery frontage type is similar to the arcade frontage, but, unlike an arcade, the covered promenade extends beyond the exterior wall of a building. This type of commercial frontage is typically employed when exposure to the elements is a concern.

#### **Standards:**

- *Minimum width of 12 feet in all directions;*
- *At least 75% of the ground floor gallery shall open to the storefront;*
- *Gallery openings shall correspond with storefront openings.*

